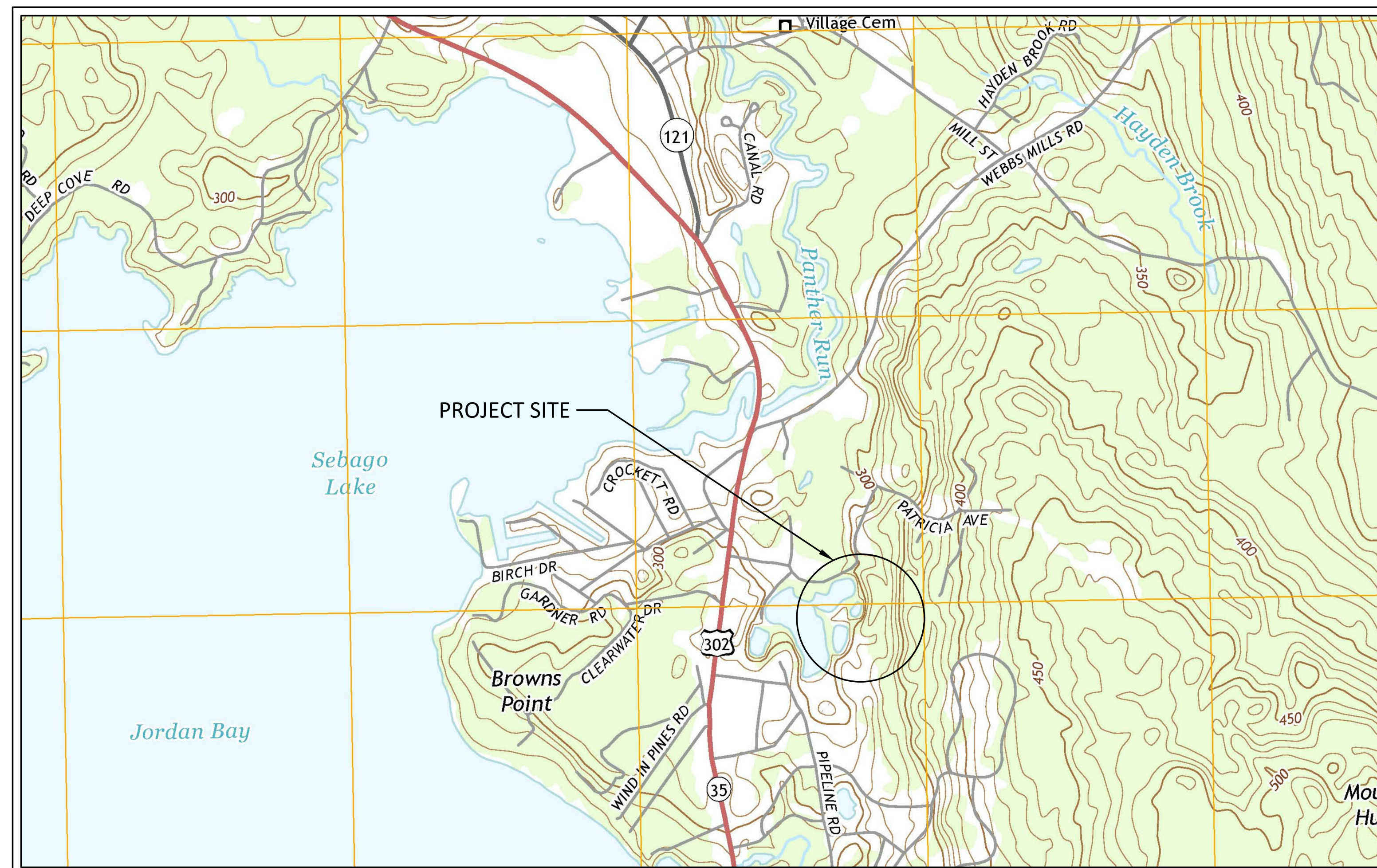


# BOULDER BEND SUBDIVISION

BOULDER BEND DRIVE, PIPELINE ROAD AND PATRICIA AVENUE  
RAYMOND, MAINE

**CONSULTANTS**

CIVIL ENGINEER DM ROMA CONSULTING ENGINEERS  
LAND SURVEYOR LOST CORNER LAND SURVEYING, LLC. / SURVEY INC.  
SITE EVALUATOR DENMARK WASTEWATER SOLUTIONS, LLC.



PROJECT VICINITY MAP

ISSUED FOR REVIEW - NOT FOR CONSTRUCTION  
OCTOBER 13, 2021

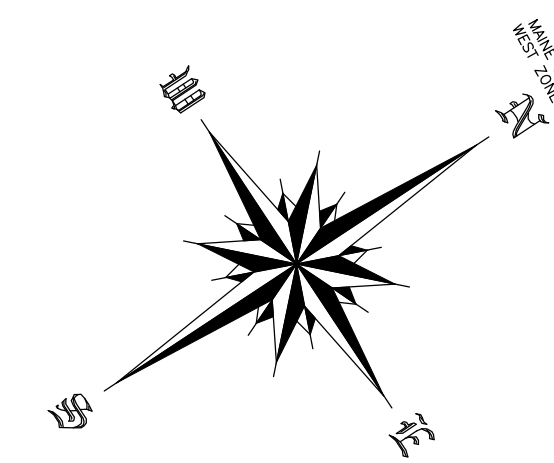
**APPLICANT:**  
R.N. WILEY & SONS, INC.  
P.O. BOX 28  
SOUTH CASCO, MAINE 04077

**BOULDER BEND SUBDIVISION**

**DRAWING SHEET INDEX**

PAGE NO.	DESCRIPTION
1	TITLE SHEET
2	SUBDIVISION PLAN
3	AMENDED SUBDIVISION PLAN
4	PLAN & PROFILE
5	PLAN & PROFILE
6	POND PLAN
7	DETAIL SHEET
8	DETAIL SHEET

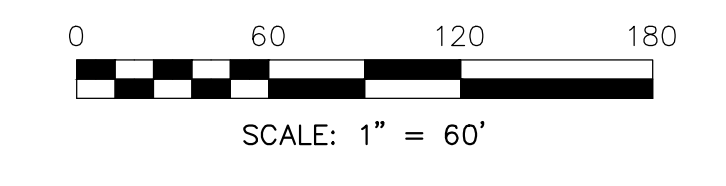
ROOSEVELT TRAIL (RT 302)



STANDARD BOUNDARY SURVEY  
LAND OF  
R. N. WILLEY & SONS EXCAVATING, INC.  
PATRICIA AVENUE, RAYMOND, MAINE

COMPILED BY  
LOST CORNER LAND SURVEYING, LLC  
22 CHERRY DRIVE, NORWAY, MAINE 04268  
lostcornersurvey@gmail.com 207-749-4630  
lostcornersurvey.com

DATE OF SURVEY: OCTOBER, 2016 DATE OF PLAN 10/6/2016  
JOB NO. 16-19, FIELD BOOK:13 & 16, DRAWING FILE: WILLEY

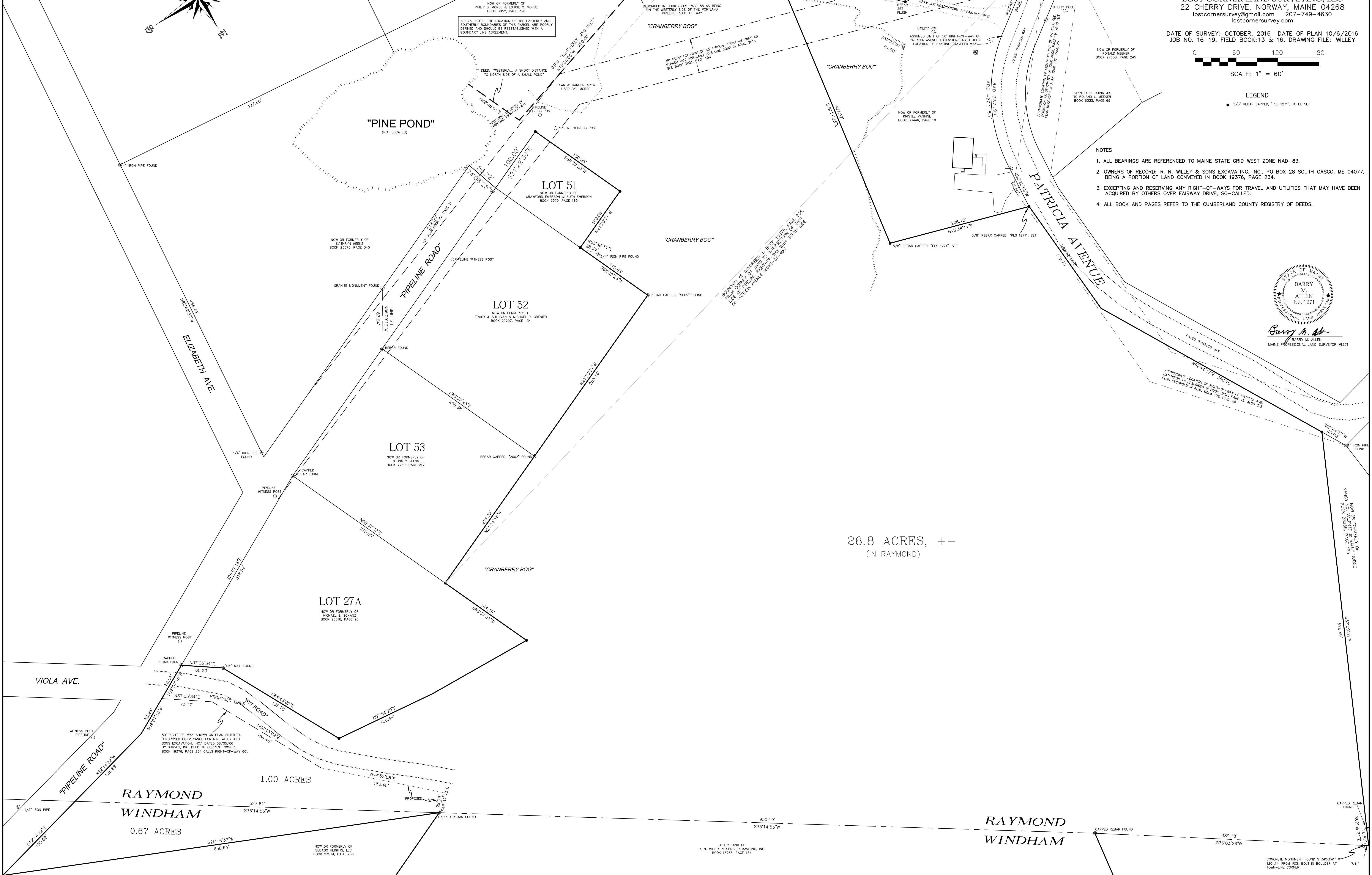
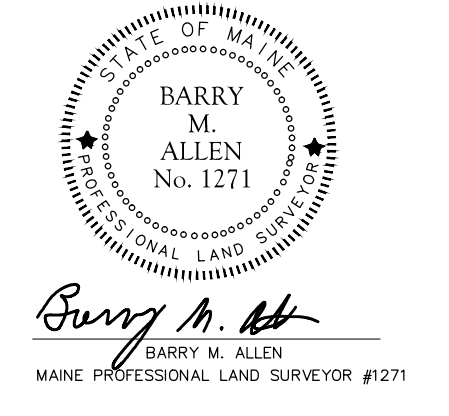


LEGEND

- 5/8" REBAR CAPPED, "PLS 1271", TO BE SET

NOTES

1. ALL BEARINGS ARE REFERENCED TO MAINE STATE GRID WEST ZONE NAD-83.
2. OWNERS OF RECORD: R. N. WILLEY & SONS EXCAVATING, INC., PO BOX 28 SOUTH CASCO, ME 04077, BEING A PORTION OF LAND CONVEYED IN BOOK 19376, PAGE 234.
3. EXCEPTING AND RESERVING ANY RIGHT-OF-WAYS FOR TRAVEL AND UTILITIES THAT MAY HAVE BEEN ACQUIRED BY OTHERS OVER FAIRWAY DRIVE, SO-CALLED.
4. ALL BOOK AND PAGES REFER TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.



26.8 ACRES, +/-  
(IN RAYMOND)

1.00 ACRES

RAYMOND WINDHAM  
0.67 ACRES

RAYMOND WINDHAM

OTHER LAND OF  
R. N. WILLEY & SONS EXCAVATING, INC.  
BOOK 15765, PAGE 154

CONCRETE MONUMENT FOUND S 34°53'41" W  
130.14' FROM IRON BOLT IN BOLDER AT  
TOWN-LINE CORNER 7.41'

**GENERAL NOTES:**

- 1. THE OWNER OF RECORD OF THE PROPERTY IS R.N. WILLEY & SONS EXCAVATING, INC. BY DEED RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 19376 PAGE 234.
- 2. TOTAL AREA OF THE PARCEL IS APPROXIMATELY 28.9 ACRES
- 3. PARCEL TAX MAP REFERENCE: TOWN OF RAYMOND ASSESSORS MAP 5, LOT 27.
- 4. PLAN REFERENCES:
 A) STANDARD BOUNDARY SURVEY, LAND OF R.N. WILLEY & SONS EXCAVATING, INC., PREPARED BY LOST CORNER LAND SURVEYING, LLC DATED 10-6-2016.
 B) SUBDIVISION PLAN OF PIPELINE ROAD AND PATRICIA AVENUE, RAYMOND, MAINE PREPARED FOR R.N. WILLEY & SONS, INC., PREPARED BY DM ROMA CONSULTING ENGINEERS DATED FEBRUARY 7, 2017 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 217 PAGE 81.
- 5. HORIZONTAL DATUM: MAINE STATE PLANE, WEST ZONE, NAD83, U.S. FEET.
- 6. VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
- 7. THE PROPERTY IS LOCATED IN THE VILLAGE RESIDENTIAL ZONING DISTRICT.
- 8. WETLAND DELINEATION PERFORMED BY SWEET ASSOCIATES IN NOVEMBER 2016.
- 9. SPACE AND BULK REQUIREMENTS: VILLAGE RESIDENTIAL DISTRICT

**NET RESIDENTIAL DENSITY:**

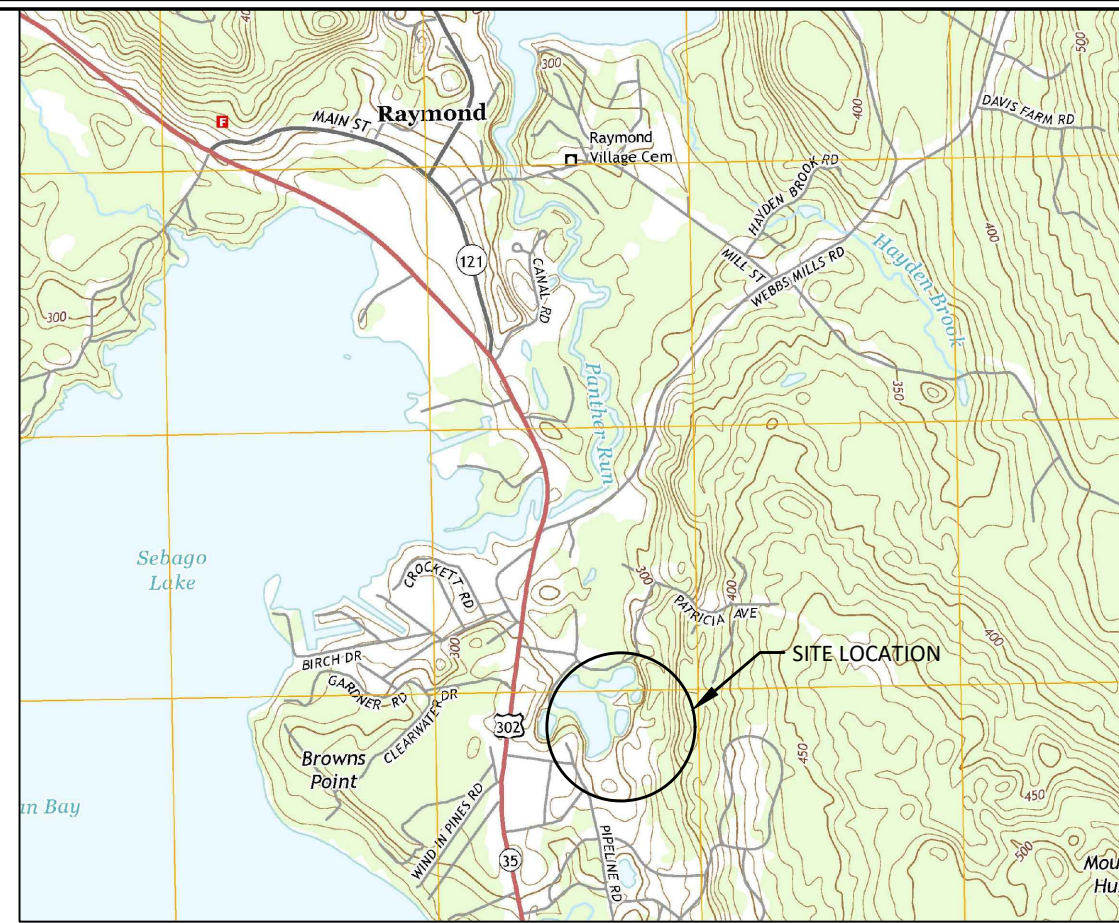
GROSS AREA OF PREVIOUSLY SUBDIVIDED LOTS: 209,893 S.F. (4.8 AC)
TOTAL ADDITIONAL GROSS LAND AREA TO BE DEVELOPED: 366,639 S.F. (8.4 AC)
GROSS AREA OF LAND RESERVED FOR FUTURE DEVELOPMENT: 682,243 S.F. (15.7 AC)
TOTAL GROSS LAND AREA: 1,258,775 S.F. (28.9 AC)
DEDUCTIONS:
1. STREET RIGHTS-OF-WAY: 47,468 S.F.
2. STEEP SLOPES OVER 35%: 0 S.F.
3. 100-YEAR FLOODPLAIN: 0 S.F.
4. RESOURCE PROTECTION DISTRICT: 0 S.F.
5. WETLANDS AND UNSUITABLE SOILS: 31,007 S.F.
6. SURFACE WATERBODIES: \*CONTAINED IN 5
ORIGINAL: 47,468 S.F.
ADDITIONAL PROPOSED: 0 S.F.
RESERVED FUTURE: 57,803 S.F.
TOTAL NET RESIDENTIAL AREA: 179,009 S.F.
REQUIRED NET AREA: 4 EXISTING SINGLE FAMILY HOMES @ 40,000 SF = 160,000 S.F. 9 PROPOSED SINGLE FAMILY @ 40,000 SF = 360,000 S.F.
TOTAL REQUIRED NET RESIDENTIAL AREA: 520,000 S.F.
TOTAL OVERALL NET AREA: 642,589 S.F.

**LOT IDENTIFICATION:**

SUBDIVISION LOT # TAX MAP / LOT ADDRESS
1 MAP 5, LOT BOULDER BEND DRIVE
2 MAP 5, LOT BOULDER BEND DRIVE
3 MAP 5, LOT BOULDER BEND DRIVE
4 MAP 5, LOT BOULDER BEND DRIVE
5 MAP 5, LOT BOULDER BEND DRIVE
6 MAP 5, LOT BOULDER BEND DRIVE
7 MAP 5, LOT BOULDER BEND DRIVE
8 MAP 5, LOT BOULDER BEND DRIVE
9 MAP 5, LOT BOULDER BEND DRIVE

CURVE TABLE
CURVE # LENGTH RADIUS DELTA CHORD BRNG CHORD LENGTH
C1 127.09' 200.00' 36° 24' 35" N44° 47' 13" W 124.97'
C2 251.01' 225.00' 63° 55' 12" S19° 21' 00" E 238.20'
C3 199.37' 249.92' 45° 42' 25" S28° 27' 23" E 194.13'
C4 110.00' 200.00' 31° 30' 46" S10° 49' 33" E 108.62'
C5 79.51' 250.78' 18° 09' 58" S3° 28' 53" W 79.18'
C6 26.81' 200.00' 7° 40' 46" S8° 46' 13" W 26.79'
C7 102.34' 225.00' 26° 03' 42" S25° 38' 27" W 101.46'
C8 115.04' 250.00' 26° 21' 52" S25° 47' 32" W 114.02'
C9 126.54' 275.00' 26° 21' 52" S25° 47' 32" W 125.43'

LINE TABLE
LINE # LENGTH BEARING
L1 25.57' S51° 18' 36" E
L2 7.66' S12° 36' 36" W
L3 50.00' S51° 01' 32" E
L4 50.00' S38° 58' 28" E
L5 50.00' N51° 01' 32" W
L6 156.13' S81° 56' 57" W
L7 80.87' S82° 17' 45" E
L8 134.67' S81° 56' 57" W
L9 85.26' S7° 42' 15" W
L10 125.65' S86° 09' 41" W
L11 127.75' S86° 09' 41" W
L12 94.11' S26° 02' 59" W
L13 30.61' S7° 39' 34" W
L14 32.78' S3° 11' 04" W
L15 120.25' S78° 26' 17" E
L16 105.21' S78° 26' 17" E
L17 23.73' N11° 33' 43" E
L18 33.45' S78° 26' 17" E
L19 46.91' S7° 43' 28" E
L20 84.36' S73° 23' 02" E
L21 83.55' S73° 21' 14" E
L22 67.30' S7° 43' 28" E
L23 91.89' S78° 26' 17" E



LOCATION MAP
NOT TO SCALE

**LEGEND**

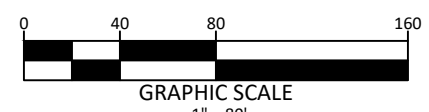
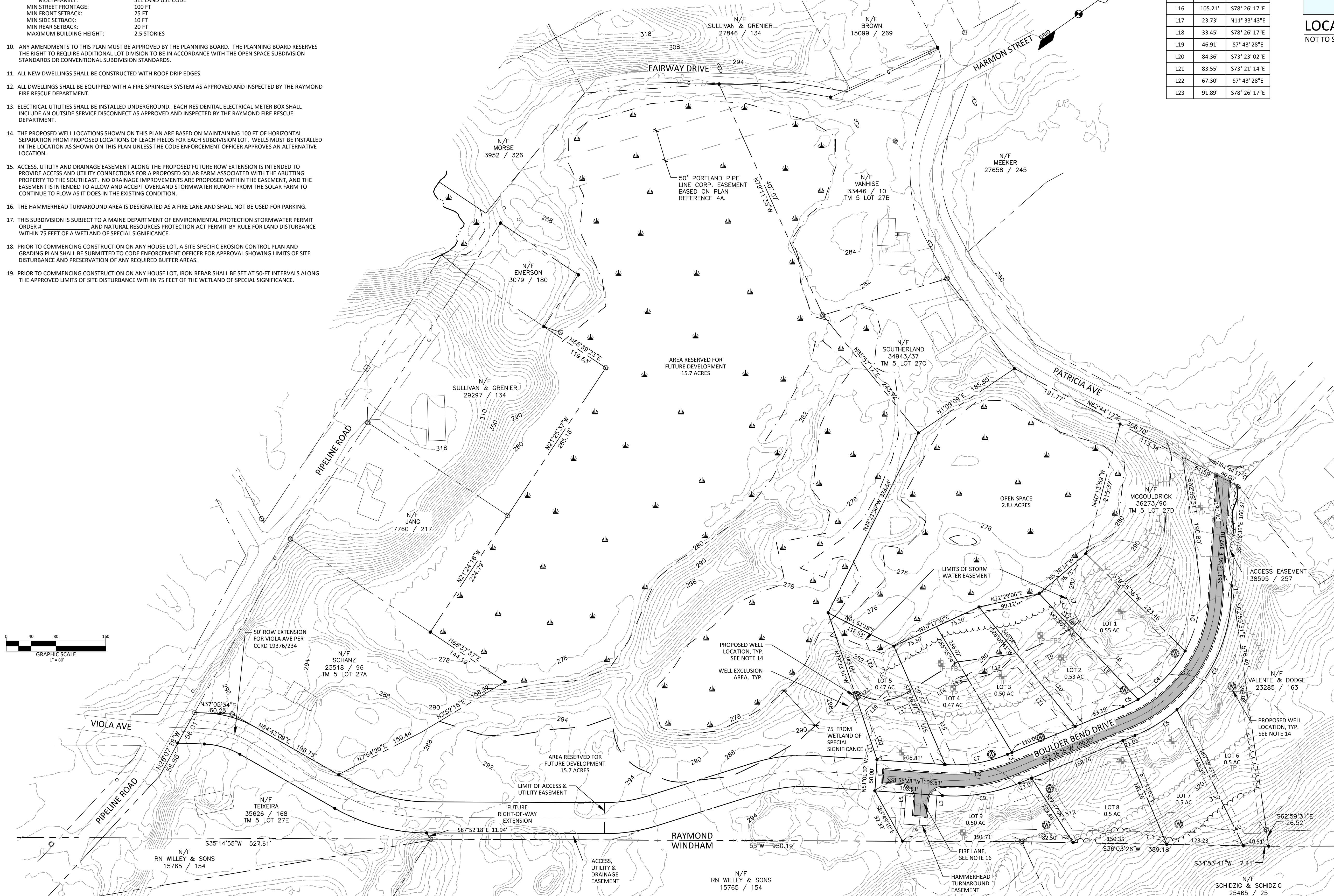
EXISTING PROPOSED
PROPERTY LINE/R.O.W.
ABUTTER PROPERTY LINE
SETBACK
EASEMENT LINE
GRANITE MONUMENT
IRON PIN/DRILL HOLE
CENTERLINE
BUILDING
EDGE OF PAVEMENT/CURB
CONTOUR LINE
CATCHBASIN
DRAINAGE MANHOLE
CULVERT/STORMDRAIN
SEWER MANHOLE
UTILITY POLE
OVERHEAD UTILITIES

**AMENDMENT NOTE:**

- 1. THIS PLAN AMENDS THE PREVIOUSLY RECORDED PLAN REFERENCE 48.
- 2. THIS PLAN AMENDMENT INCLUDES (9) ADDITIONAL RESIDENTIAL LOTS AND NEW ROADWAY.

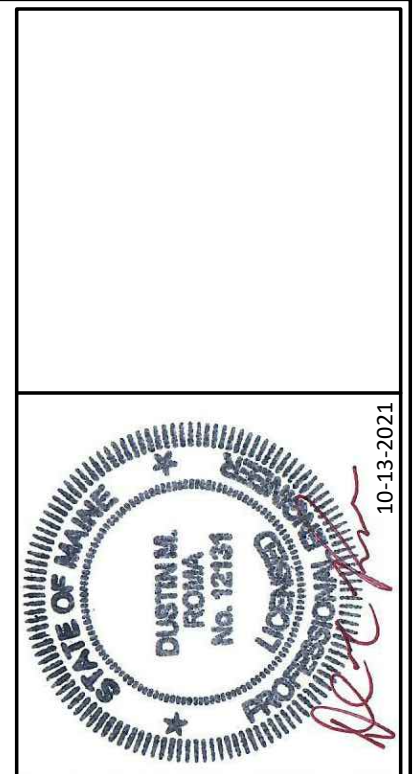
MIN LOT SIZE: 40,000 SF
MIN LOT AREA PER DWELLING UNIT:
SINGLE FAMILY: 40,000 SF
DUPLICATE (PER UNIT): 20,000 SF
MULTI-FAMILY: SEE LAND USE CODE
MIN STREET FRONTAGE: 100 FT
MIN FRONT SETBACK: 25 FT
MIN SIDE SETBACK: 10 FT
MIN REAR SETBACK: 20 FT
MAXIMUM BUILDING HEIGHT: 2.5 STORIES

- 10. ANY AMENDMENTS TO THIS PLAN MUST BE APPROVED BY THE PLANNING BOARD. THE PLANNING BOARD RESERVES THE RIGHT TO REQUIRE ADDITIONAL LOT DIVISION TO BE IN ACCORDANCE WITH THE OPEN SPACE SUBDIVISION STANDARDS OR CONVENTIONAL SUBDIVISION STANDARDS.
- 11. ALL NEW DWELLINGS SHALL BE CONSTRUCTED WITH ROOF DRIP EDGES.
- 12. ALL DWELLINGS SHALL BE EQUIPPED WITH A FIRE SPRINKLER SYSTEM AS APPROVED AND INSPECTED BY THE RAYMOND FIRE RESCUE DEPARTMENT.
- 13. ELECTRICAL UTILITIES SHALL BE INSTALLED UNDERGROUND. EACH RESIDENTIAL ELECTRICAL METER BOX SHALL INCLUDE AN OUTSIDE SERVICE DISCONNECT AS APPROVED AND INSPECTED BY THE RAYMOND FIRE RESCUE DEPARTMENT.
- 14. THE PROPOSED WELL LOCATIONS SHOWN ON THIS PLAN ARE BASED ON MAINTAINING 100 FT OF HORIZONTAL SEPARATION FROM PROPOSED LOCATIONS OF LEACH FIELDS FOR EACH SUBDIVISION LOT. WELLS MUST BE INSTALLED IN THE LOCATION AS SHOWN ON THIS PLAN UNLESS THE CODE ENFORCEMENT OFFICER APPROVES AN ALTERNATIVE LOCATION.
- 15. ACCESS, UTILITY AND DRAINAGE EASEMENT ALONG THE PROPOSED FUTURE ROW EXTENSION IS INTENDED TO PROVIDE ACCESS AND UTILITY CONNECTIONS FOR A PROPOSED SOLAR FARM ASSOCIATED WITH THE ABUTTING PROPERTY TO THE SOUTHEAST. NO DRAINAGE IMPROVEMENTS ARE PROPOSED WITHIN THE EASEMENT, AND THE EASEMENT IS INTENDED TO ALLOW AND ACCEPT OVERLAND STORMWATER RUNOFF FROM THE SOLAR FARM TO CONTINUE TO FLOW AS IT DOES IN THE EXISTING CONDITION.
- 16. THE HAMMERHEAD TURNAROUND AREA IS DESIGNATED AS A FIRE LANE AND SHALL NOT BE USED FOR PARKING.
- 17. THIS SUBDIVISION IS SUBJECT TO A MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION STORMWATER PERMIT ORDER # AND NATURAL RESOURCES PROTECTION ACT PERMIT-BY-RULE FOR LAND DISTURBANCE WITHIN 75 FEET OF A WETLAND OF SPECIAL SIGNIFICANCE.
- 18. PRIOR TO COMMENCING CONSTRUCTION ON ANY HOUSE LOT, A SITE-SPECIFIC EROSION CONTROL PLAN AND GRADING PLAN SHALL BE SUBMITTED TO CODE ENFORCEMENT OFFICER FOR APPROVAL SHOWING LIMITS OF SITE DISTURBANCE AND PRESERVATION OF ANY REQUIRED BUFFER AREAS.
- 19. PRIOR TO COMMENCING CONSTRUCTION ON ANY HOUSE LOT, IRON REBAR SHALL BE SET AT 50-FT INTERVALS ALONG THE APPROVED LIMITS OF SITE DISTURBANCE WITHIN 75 FEET OF THE WETLAND OF SPECIAL SIGNIFICANCE.



APPROVED: TOWN OF RAYMOND PLANNING BOARD
DATE:

STATE OF MAINE
COUNTY SS. REGISTRY OF DEEDS
RECEIVED \_\_\_\_\_, 20\_\_
AT \_\_\_\_\_ h \_\_\_\_\_ m \_\_\_\_\_ M
AND RECORDED IN
PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_
ATTEST: \_\_\_\_\_ REGISTER

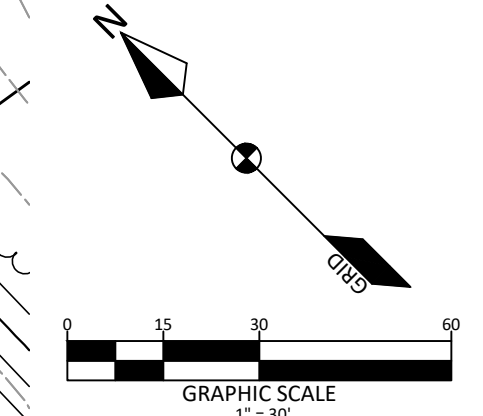
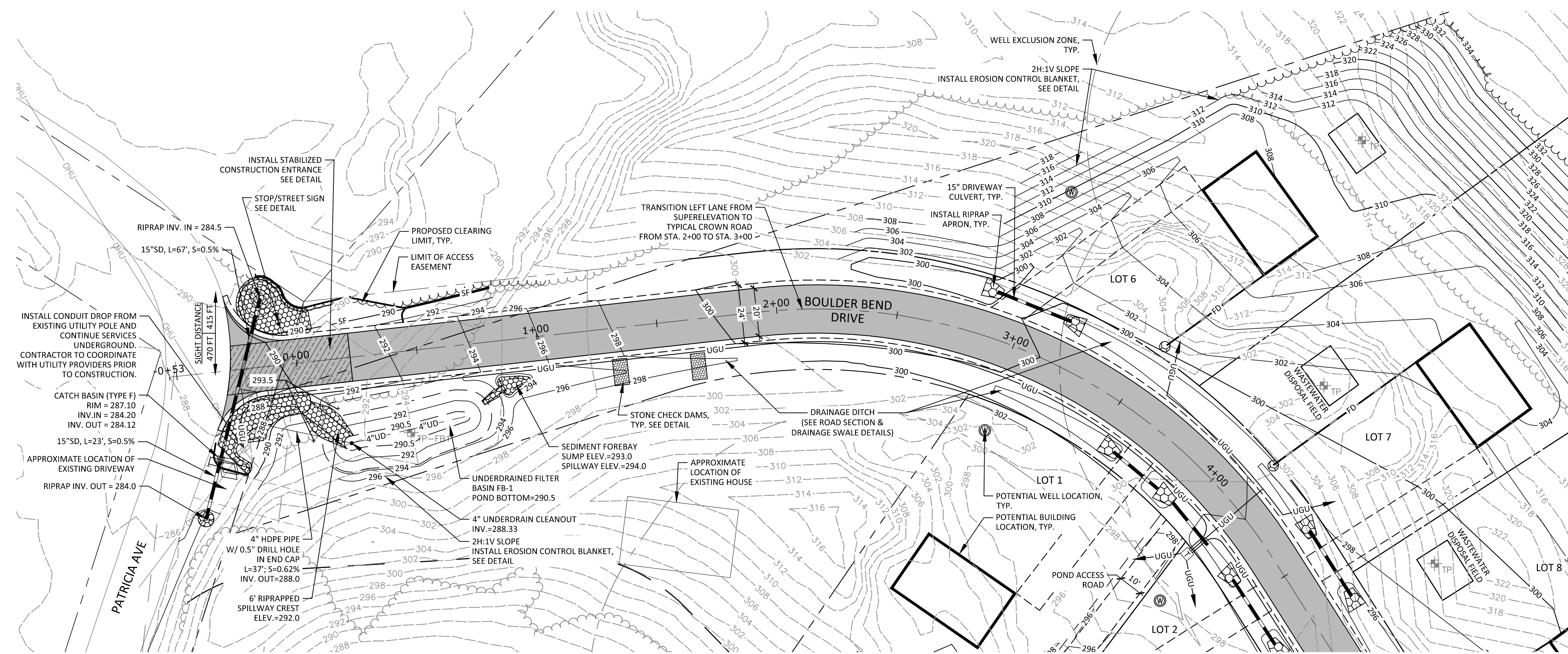


DM ROMA CONSULTING ENGINEERS
P.O. BOX 1116
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(207) 310-0506

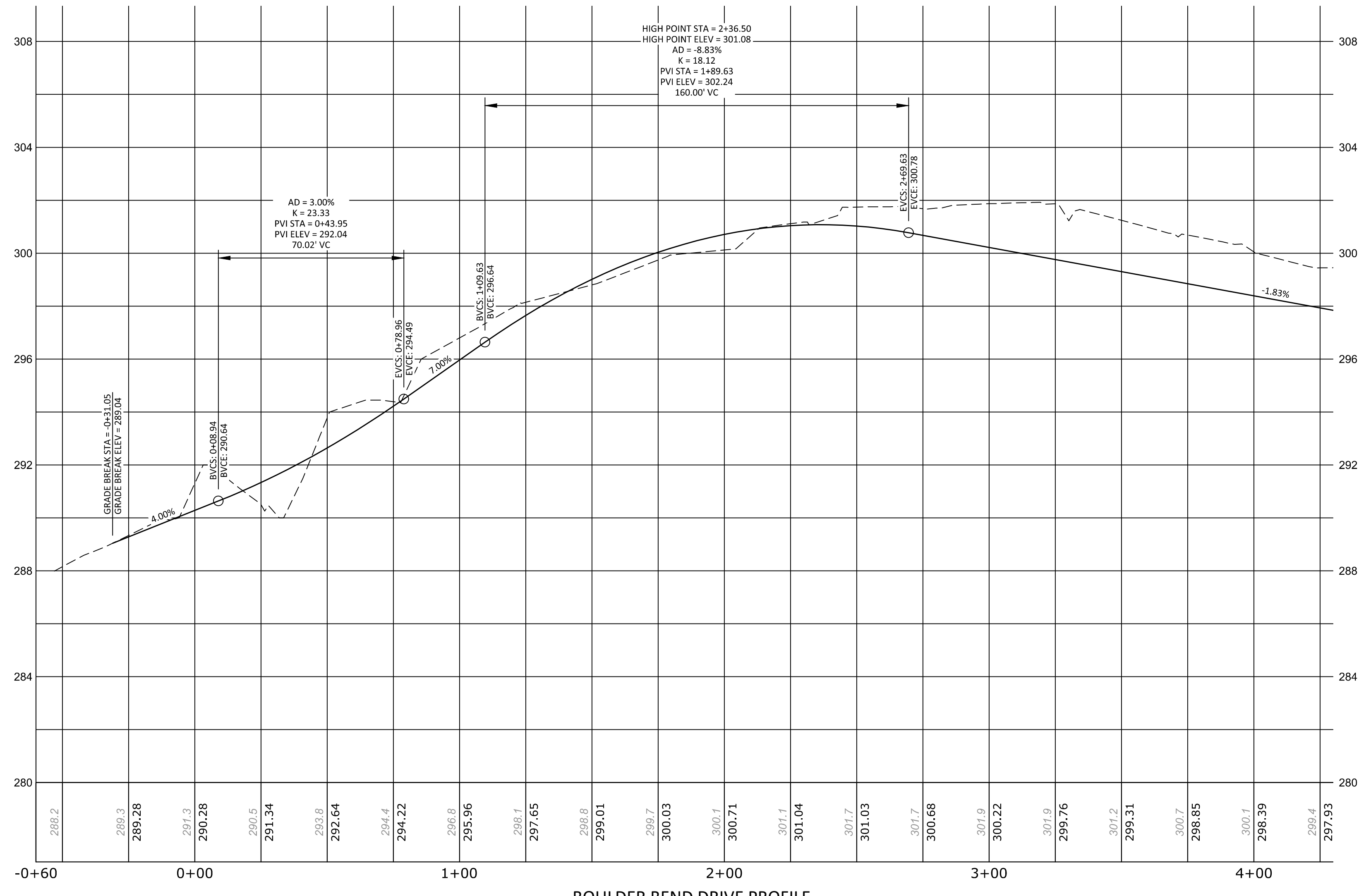
Revision table with columns: REV, DATE, BY, DESCRIPTION

AMENDED SUBDIVISION PLAN
BOULDER BEND SUBDIVISION
BOULDER BEND DRIVE
RAYMOND, MAINE
FOR RECORD OWNER: R.N. WILLEY & SONS, INC.
P.O. BOX 28, 13 SCOTT DRIVE
SOUTH CASCO, MAINE 04077

16041 JOB NUMBER:
1" = 80' SCALE:
10-13-2021 DATE:
SHEET 3 OF 8
SB-1

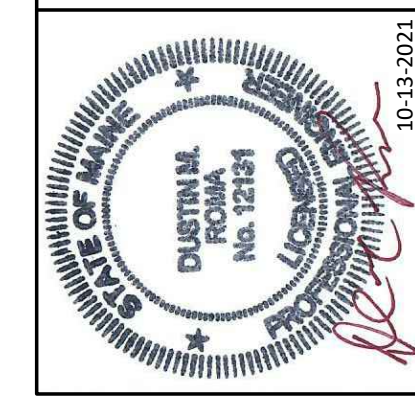
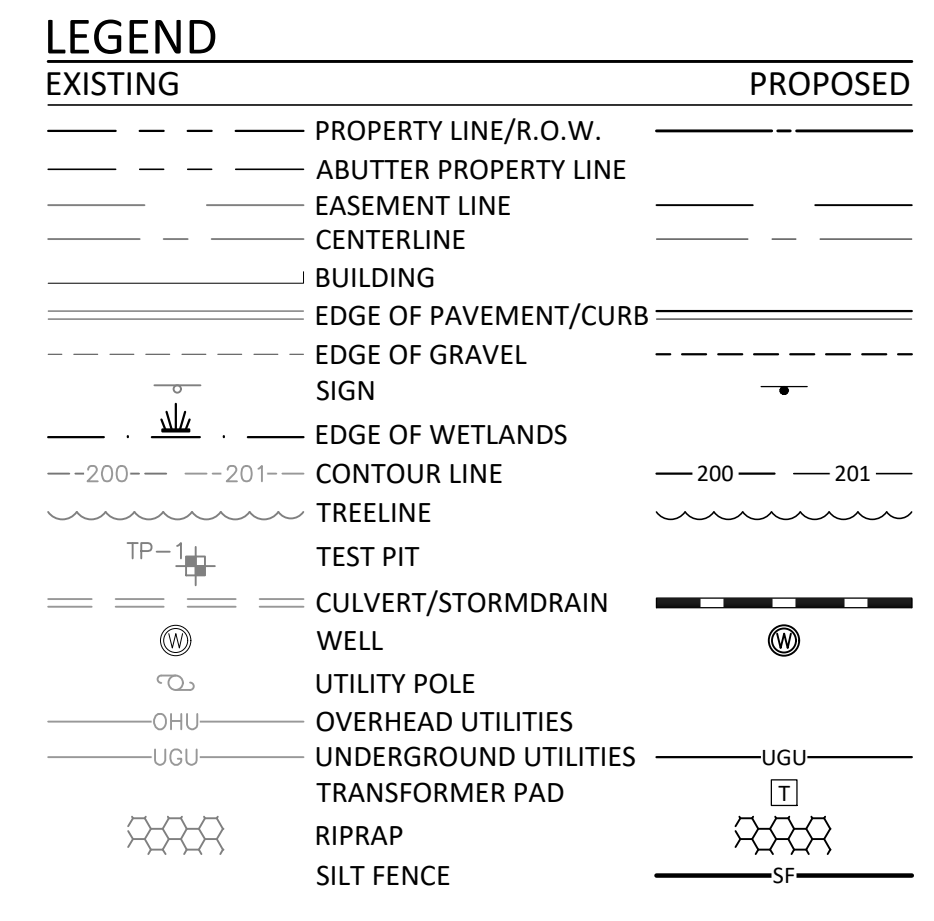


ROAD PLAN VIEW  
SCALE: HORIZ. 1"=30'



BOULDER BEND DRIVE PROFILE  
SCALE: HORIZ. 1"=30'  
VERT. 1"=3'

- CONSTRUCTION NOTES:**
- REFER TO HHE-200 PLANS FOR SIZING, LOCATION AND CONSTRUCTION SPECIFICATIONS FOR ALL PROPOSED SUBSURFACE WASTEWATER DISPOSAL FIELDS.
  - ELECTRICAL SERVICES SHOWN INCLUDING, BUT NOT LIMITED TO, TRANSFORMERS AND CONDUIT LOCATIONS ARE THE ENGINEER'S SUGGESTED LOCATIONS BUT MUST BE COORDINATED WITH CENTRAL MAINE POWER COMPANY. REFER TO PLANS ISSUED BY CMP FOR APPROVED LOCATIONS OF ELECTRICAL INFRASTRUCTURE.
  - PRIOR TO CONSTRUCTION, THE OWNER SHALL COORDINATE A PRE-CONSTRUCTION MEETING WITH THE TOWN OF RAYMOND. CONTACT THE PLANNING DEPARTMENT TO SCHEDULE THE MEETING AND COORDINATE ANY OTHER REQUIRED PRE-CONSTRUCTION ACTIVITIES.
  - BOULDER BEND DRIVE HAS BEEN DESIGNED TO THE TOWN OF RAYMOND MINOR STREET STANDARDS.
  - EXISTING UTILITIES SHOWN HEREON ARE BASED ON LOCATING VISUAL EVIDENCE DURING A FIELD SURVEY OF EXISTING CONDITIONS. OTHER UTILITIES THAT ARE NOT SHOWN ON THIS PLAN. PRIOR TO CONSTRUCTION, THE CONTRACTOR/OWNER IS RESPONSIBLE FOR CONTACTING DIG SAFE.
  - PROPOSED BUILDING LOCATIONS, PROPOSED DRIVEWAY LOCATION, PROPOSED DRIVEWAY CULVERTS AND PROPOSED LOT PAD GRADING IS SHOWN HEREON TO DEMONSTRATE A CONSTRUCTIBLE LOT LAYOUT, AND NOT REQUIRED TO BE BUILT AS SHOWN. PROPOSED SLOPE GRADING SHOWN HEREON IS TO REMAIN SUBSTANTIALLY CONFORMING TO THIS PLAN.

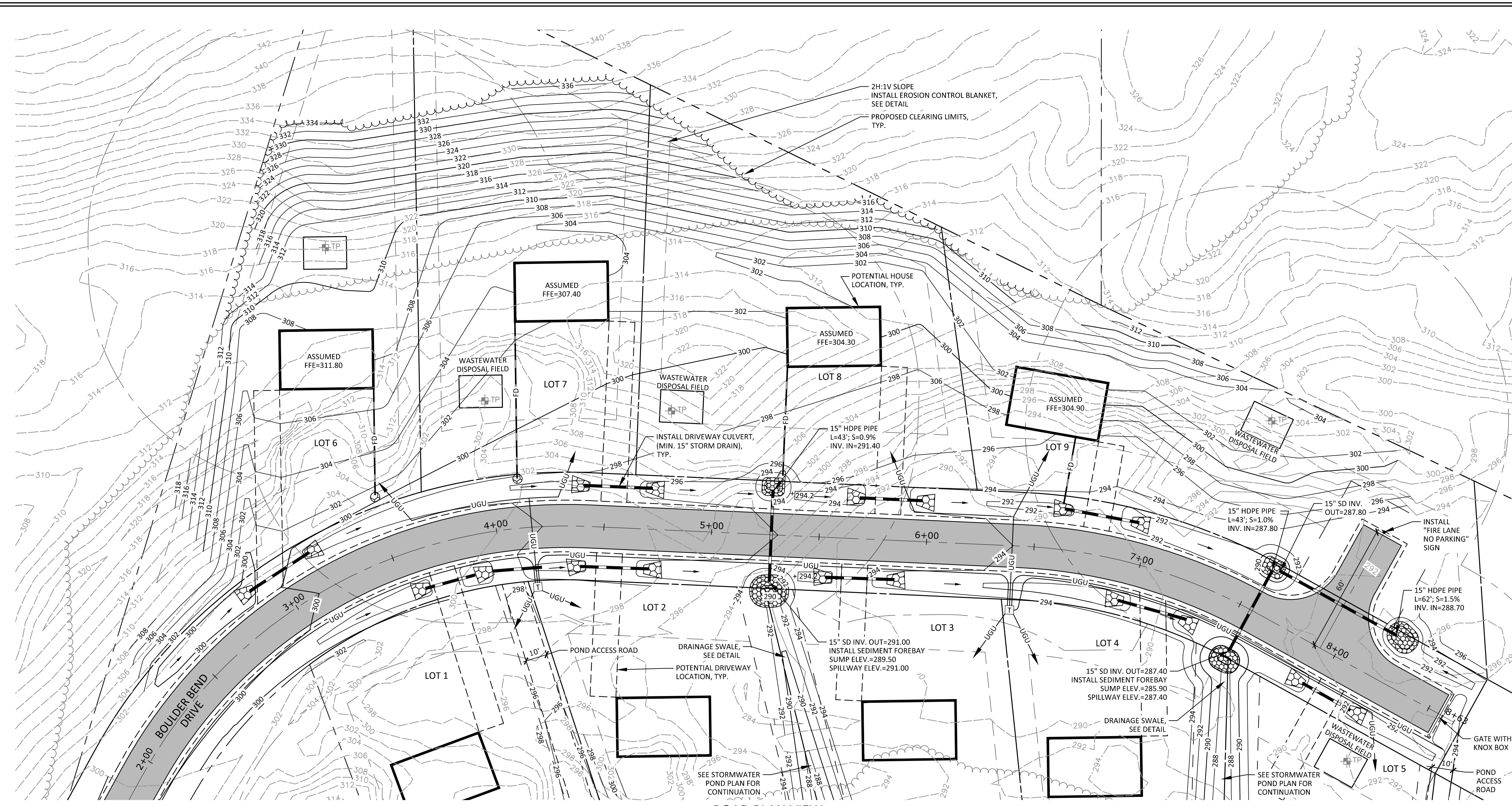


**DM ROMA**  
CONSULTING ENGINEERS  
P.O. BOX 1116  
WINDHAM, ME 04662  
(207) 310-0506

REV	DATE	BY	DESCRIPTION
A	4-14-21	DMR	ISSUED FOR TOWN PERMIT REVIEW
B	7-14-21	DMR	ISSUED FOR PERMIT REVIEW
C	7-16-21	DMR	ISSUED FOR MDEP PERMIT REVIEW
D	10-13-21	DMR	RESUBMITTED TO TOWN

**PLAN AND PROFILE**  
BOULDER BEND SUBDIVISION  
BOULDER BEND DRIVE  
RAYMOND, MAINE  
FOR RECORD OWNER:  
**R. N. WILEY & SONS, INC.**  
P.O. BOX 28, 13 SCOTT DRIVE  
SOUTH CASCO, MAINE 04077

16041 JOB NUMBER:
AS NOTED SCALE:
10-13-2021 DATE:
SHEET 4 OF 8
<b>PP-1</b>



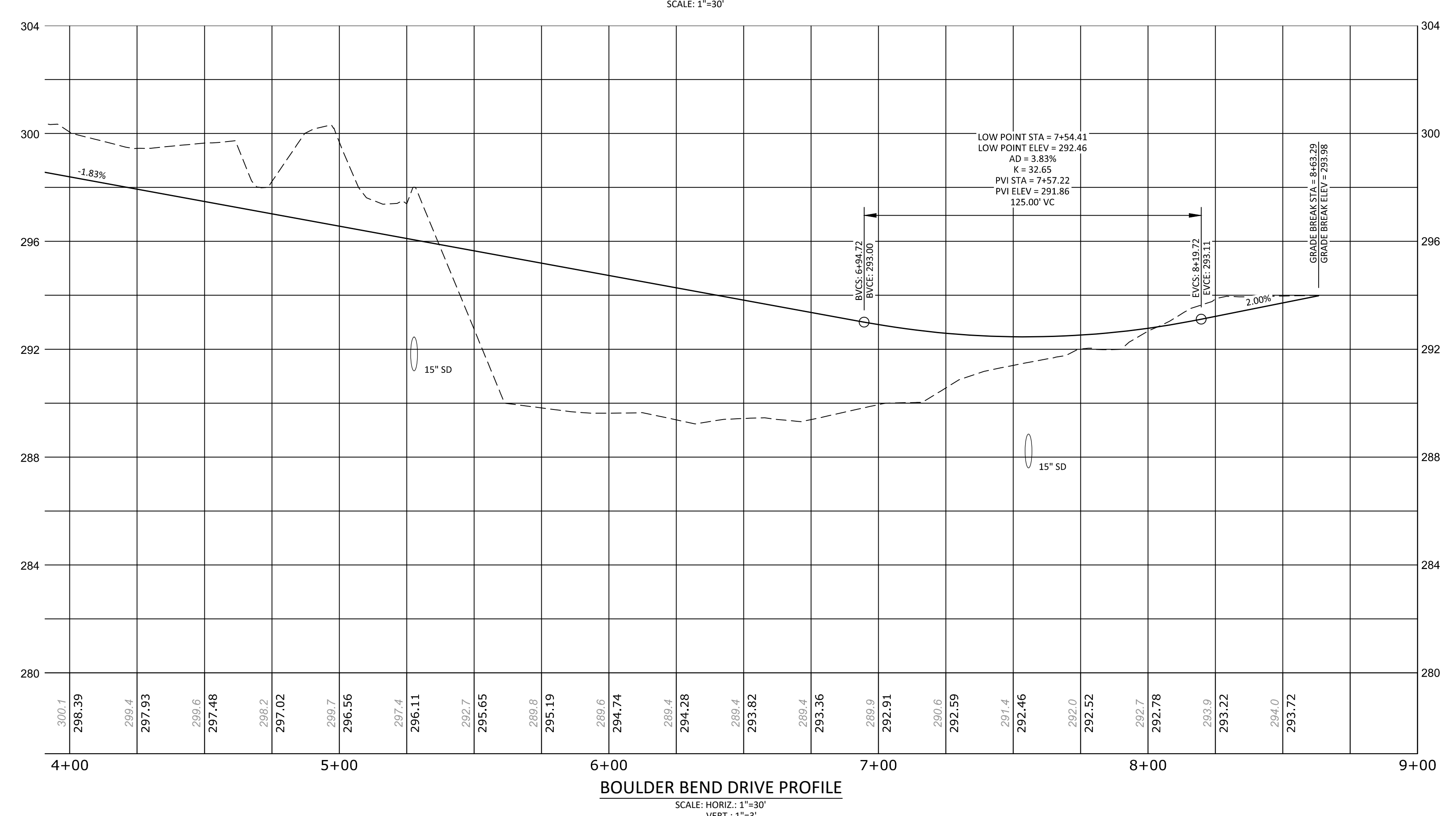
ROAD PLAN VIEW  
SCALE: 1"=30'

**CONSTRUCTION NOTES:**

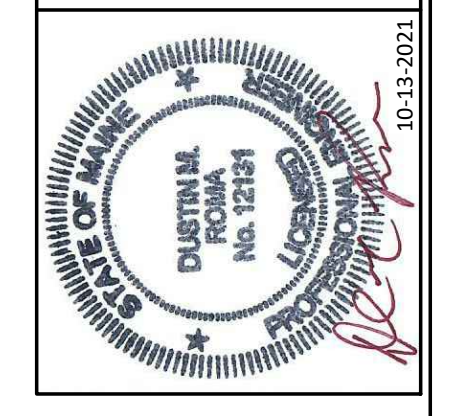
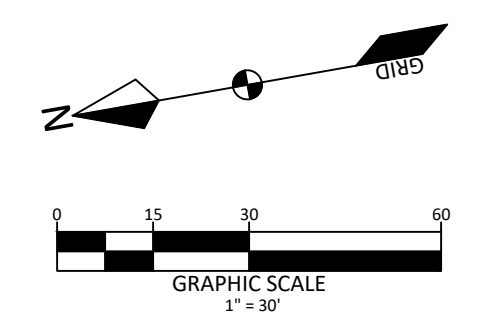
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- PRIOR TO CONSTRUCTION, THE OWNER SHALL COORDINATE A PRE-CONSTRUCTION MEETING WITH THE TOWN OF RAYMOND, CONTACT THE PLANNING DEPARTMENT TO SCHEDULE THE MEETING AND COORDINATE ANY OTHER REQUIRED PRE-CONSTRUCTION ACTIVITIES.
- BOULDER BEND DRIVE HAS BEEN DESIGNED TO THE TOWN OF RAYMOND MINOR STREET STANDARDS.
- EXISTING UTILITIES SHOWN HEREON ARE BASED ON LOCATING VISUAL EVIDENCE DURING A FIELD SURVEY OF EXISTING CONDITIONS. OTHER UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THIS PLAN. PRIOR TO CONSTRUCTION, THE CONTRACTOR/OWNER IS RESPONSIBLE FOR CONTACTING DIS SAFE.
- PROPOSED BUILDING LOCATIONS, PROPOSED DRIVEWAY LOCATION, PROPOSED DRIVEWAY CULVERTS AND PROPOSED LOT PAD GRADING IS SHOWN HEREON TO DEMONSTRATE A CONSTRUCTIBLE LOT LAYOUT, AND NOT REQUIRED TO BE BUILT AS SHOWN. PROPOSED SLOPE GRADING SHOWN HEREON IS TO REMAIN SUBSTANTIALLY CONFORMING TO THIS PLAN.

**LEGEND**

EXISTING	PROPOSED
--- PROPERTY LINE/R.O.W.	--- PROPERTY LINE/R.O.W.
--- ABUTTER PROPERTY LINE	--- ABUTTER PROPERTY LINE
--- EASEMENT LINE	--- EASEMENT LINE
--- CENTERLINE	--- CENTERLINE
--- BUILDING	--- BUILDING
--- EDGE OF PAVEMENT/CURB	--- EDGE OF PAVEMENT/CURB
--- EDGE OF GRAVEL	--- EDGE OF GRAVEL
--- SIGN	--- SIGN
--- EDGE OF WETLANDS	--- EDGE OF WETLANDS
---200---201--- CONTOUR LINE	---200---201--- CONTOUR LINE
--- TREELINE	--- TREELINE
TP-1 TEST PIT	TP-1 TEST PIT
--- CULVERT/STORMDRAIN	--- CULVERT/STORMDRAIN
--- WELL	--- WELL
--- UTILITY POLE	--- UTILITY POLE
--- OHU OVERHEAD UTILITIES	--- OHU OVERHEAD UTILITIES
--- UGU UNDERGROUND UTILITIES	--- UGU UNDERGROUND UTILITIES
--- TRANSFORMER PAD	--- TRANSFORMER PAD
--- RIPRAP	--- RIPRAP
--- SILT FENCE	--- SILT FENCE



BOULDER BEND DRIVE PROFILE  
SCALE: HORIZ. 1"=30'  
VERT. 1"=3'



**DM ROMA**  
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P.O. BOX 1116  
WINDHAM, ME 04062  
(207) 310-0506

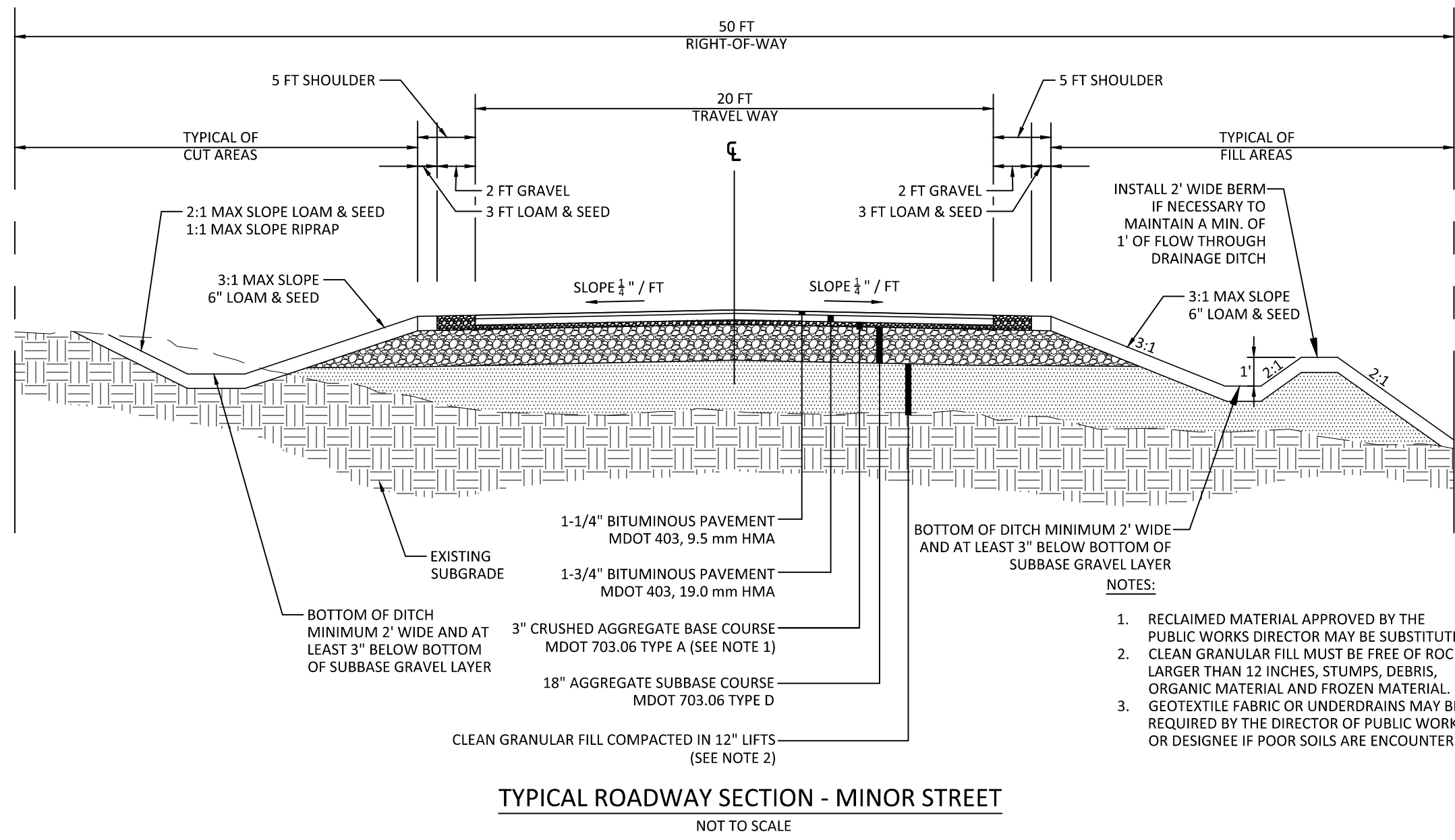
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B	7-16-21	DMR	ISSUED FOR PERMIT REVIEW
C	7-16-21	DMR	ISSUED FOR MOEP PERMIT REVIEW
D	10-13-21	DMR	RESUBMITTED TO TOWN

**PLAN AND PROFILE**  
BOULDER BEND SUBDIVISION  
BOULDER BEND DRIVE  
RAYMOND, MAINE  
FOR RECORD OWNER:  
**R. N. WILEY & SONS, INC.**  
P.O. BOX 28, 13 SCOTT DRIVE  
SOUTH CASCO, MAINE 04077

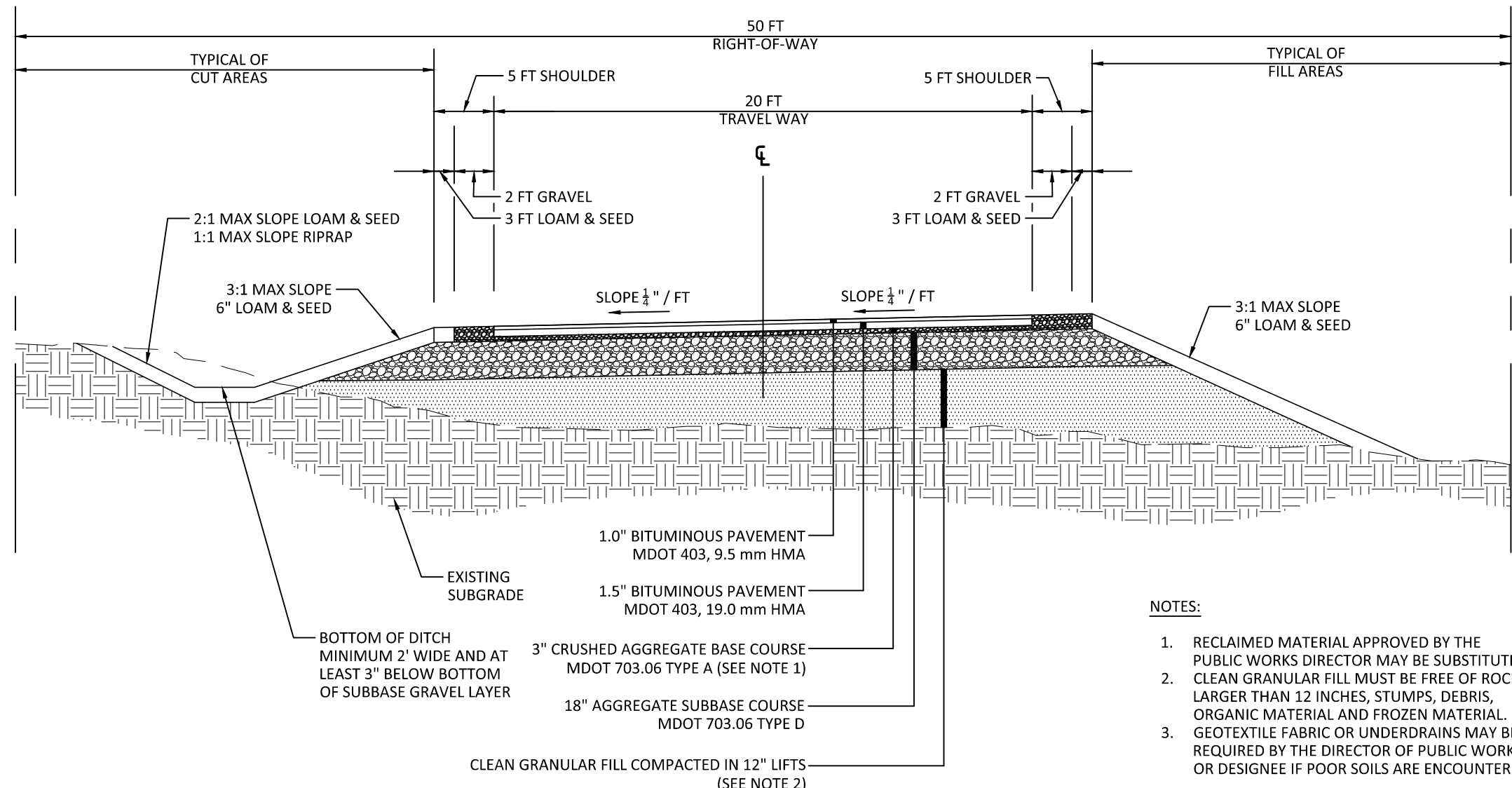
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JOB NUMBER:  
AS NOTED  
SCALE:  
10-13-2021  
DATE:  
SHEET 5 OF 8  
PP-2



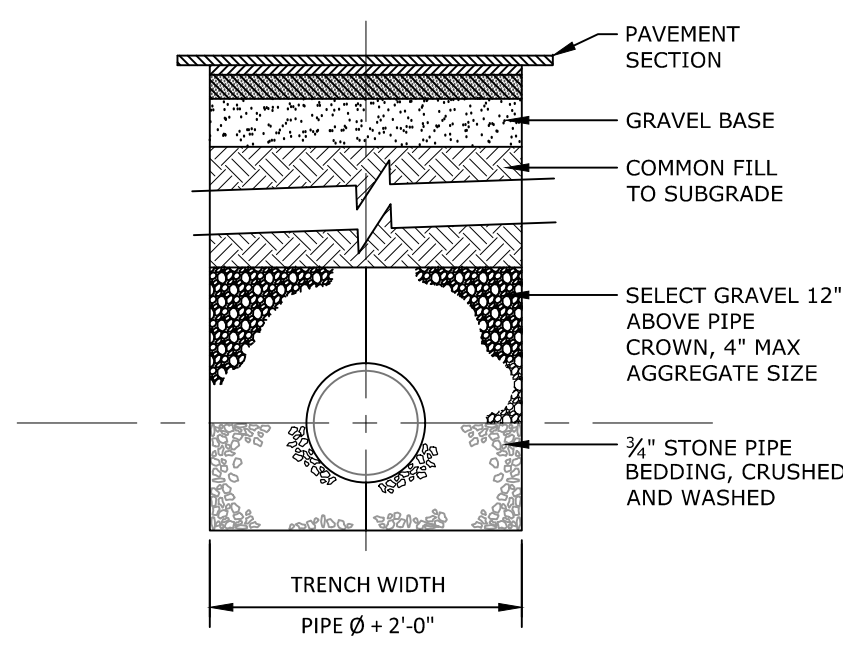




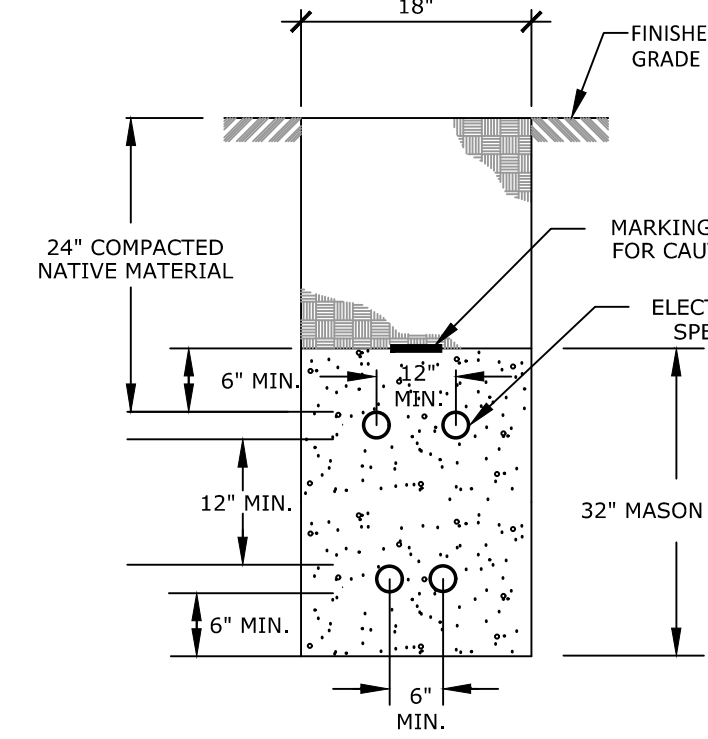
TYPICAL ROADWAY SECTION - MINOR STREET  
NOT TO SCALE



SUPER-ELEVATED ROADWAY SECTION - MINOR STREET  
NOT TO SCALE

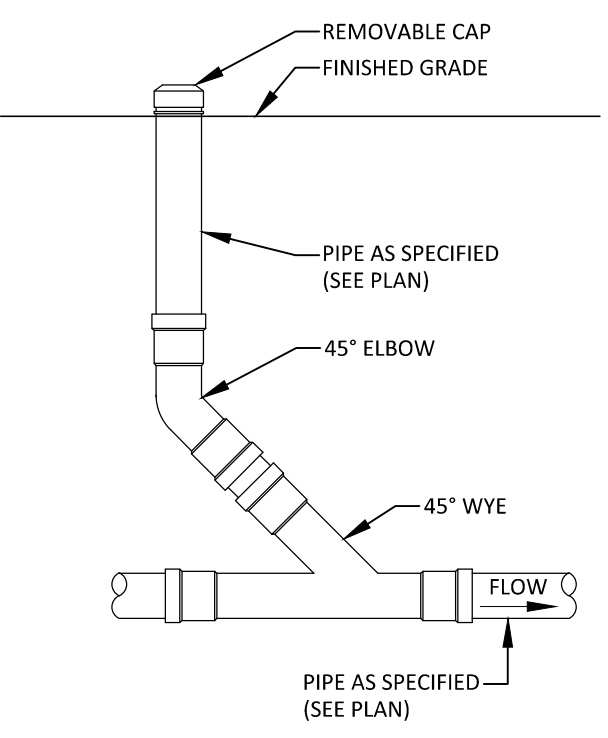


TYPICAL TRENCH SECTION  
NOT TO SCALE

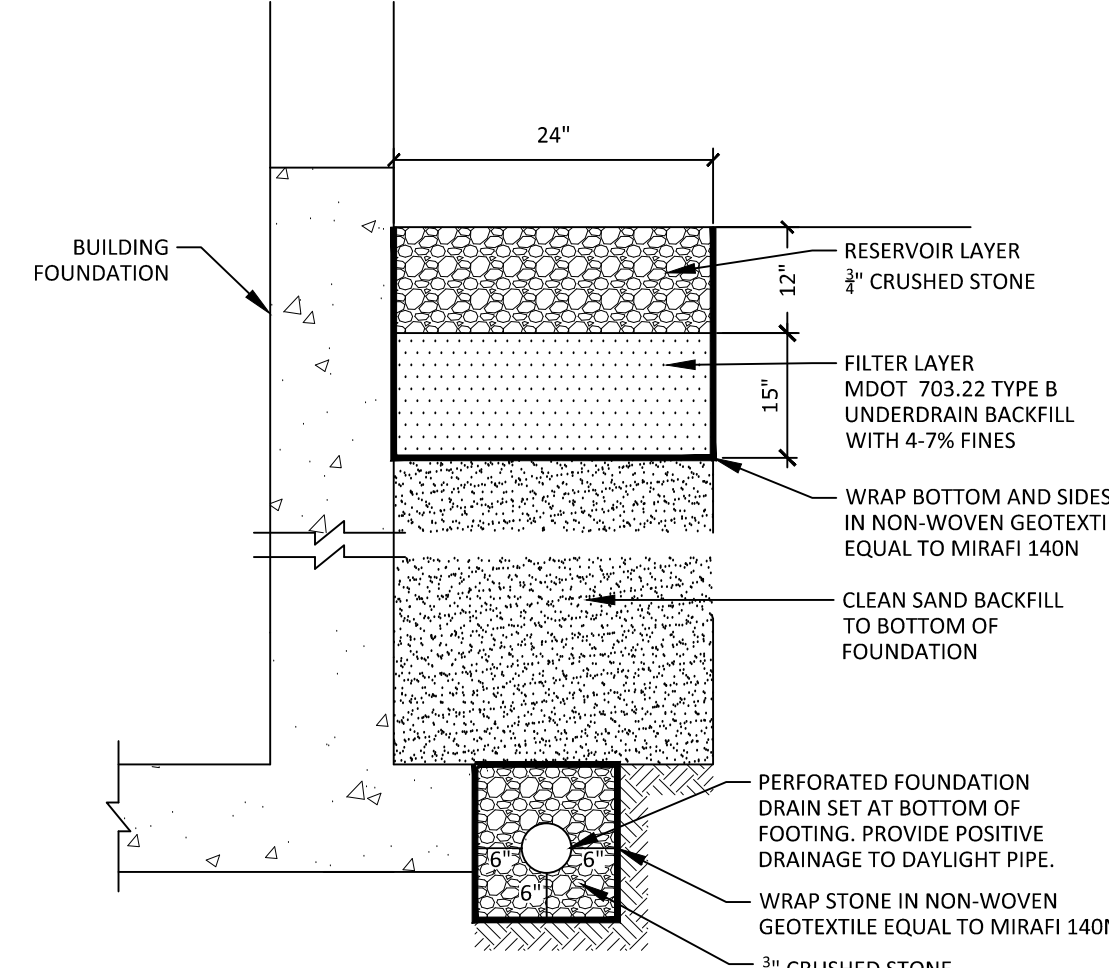


UTILITY TRENCH DETAIL  
NOT TO SCALE

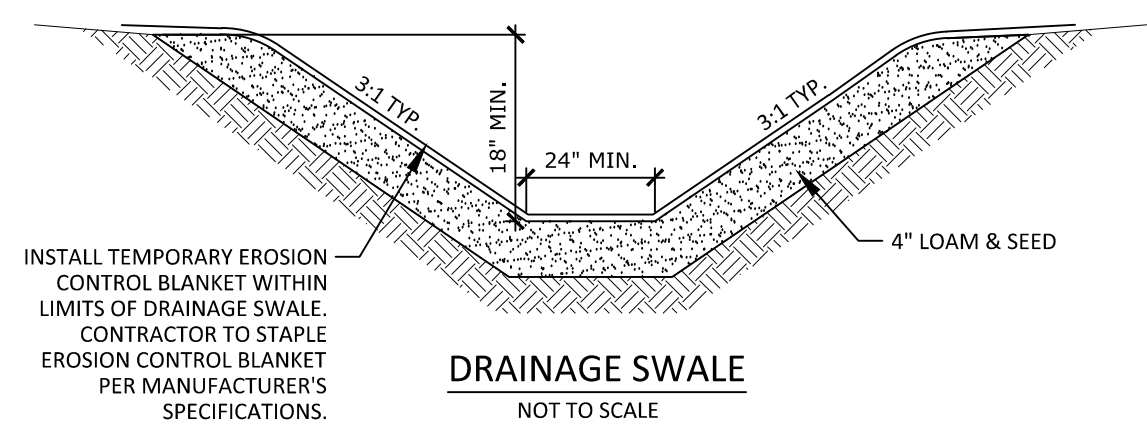
- NOTES:
- ALL CONDUITS SHALL BE 4" DIA. PVC SCH 40 EXCEPT FOR ROAD CROSSINGS SHALL BE PVC SCH 80
  - INSTALLATION SHOULD NOT ALLOW THE INTER-TWINGING OF CABLES.
  - BEDDING AND BACKFILL SHALL BE FREE OF ROOTS, STUMPS AND OTHER DEBRIS.
  - COMMUNICATION CABLE AND POWER CABLE SHALL HAVE NO LESS THAN 12 INCHES OF RADIAL SEPARATION.



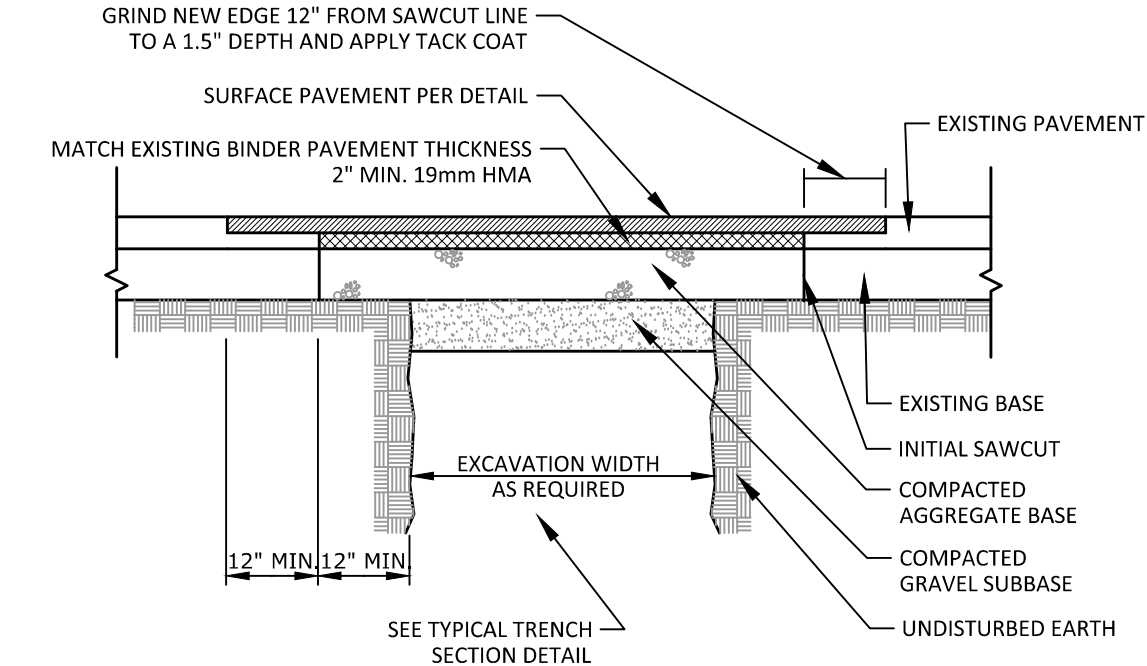
UNDERDRAIN CLEANOUT DETAIL  
NOT TO SCALE



ROOF DRIP EDGE  
NOT TO SCALE

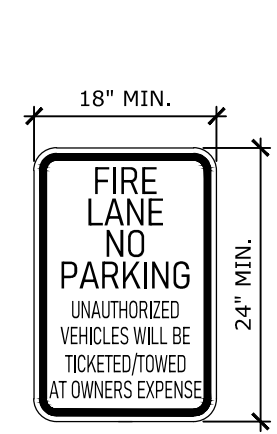


DRAINAGE SWALE  
NOT TO SCALE

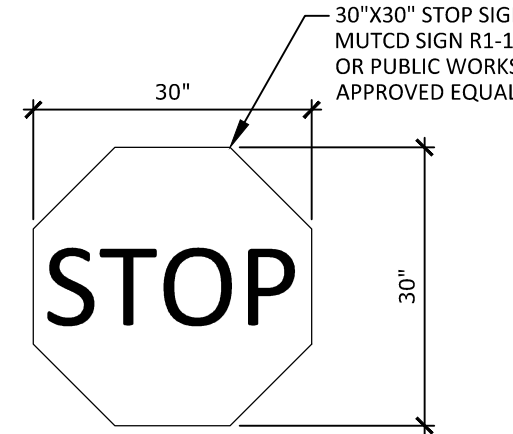


- NOTES:
- SEE TYPICAL ROAD SECTION FOR REQUIRED DEPTHS OF AGGREGATE AND PAVEMENT COURSES

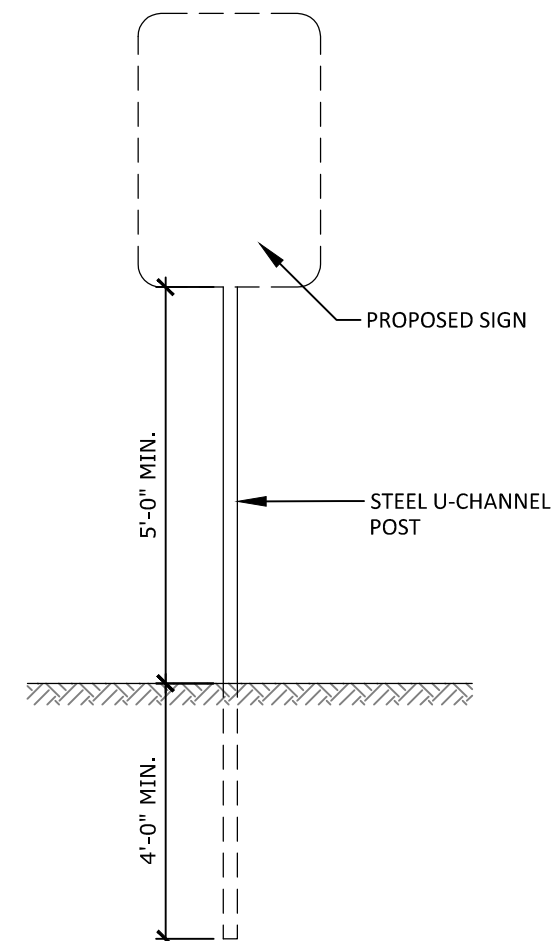
PAVEMENT REPAIR DETAIL  
NOT TO SCALE



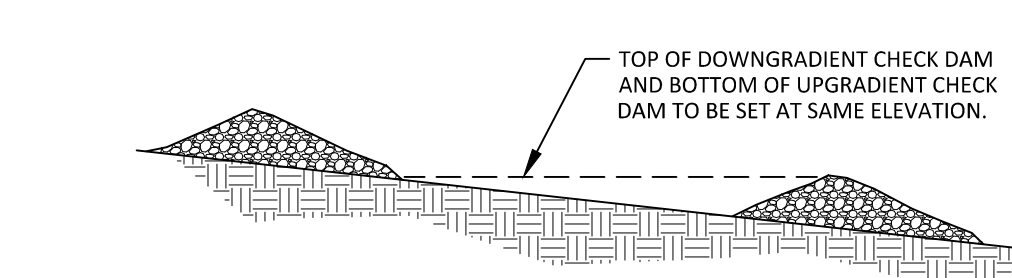
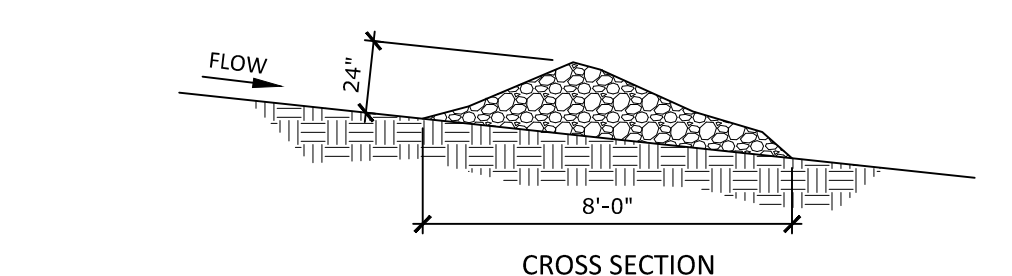
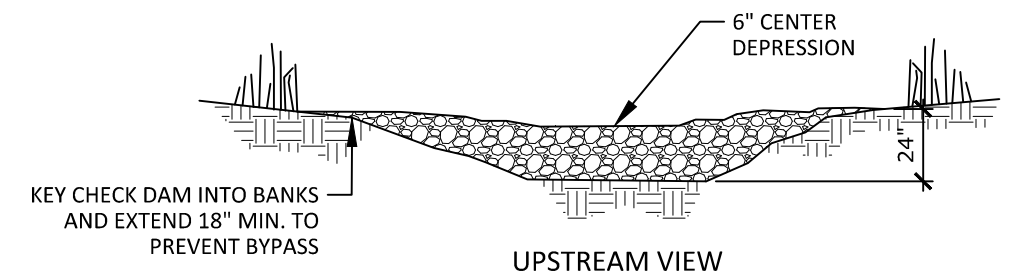
FIRE LANE SIGN  
NOT TO SCALE



STOP SIGN  
NOT TO SCALE

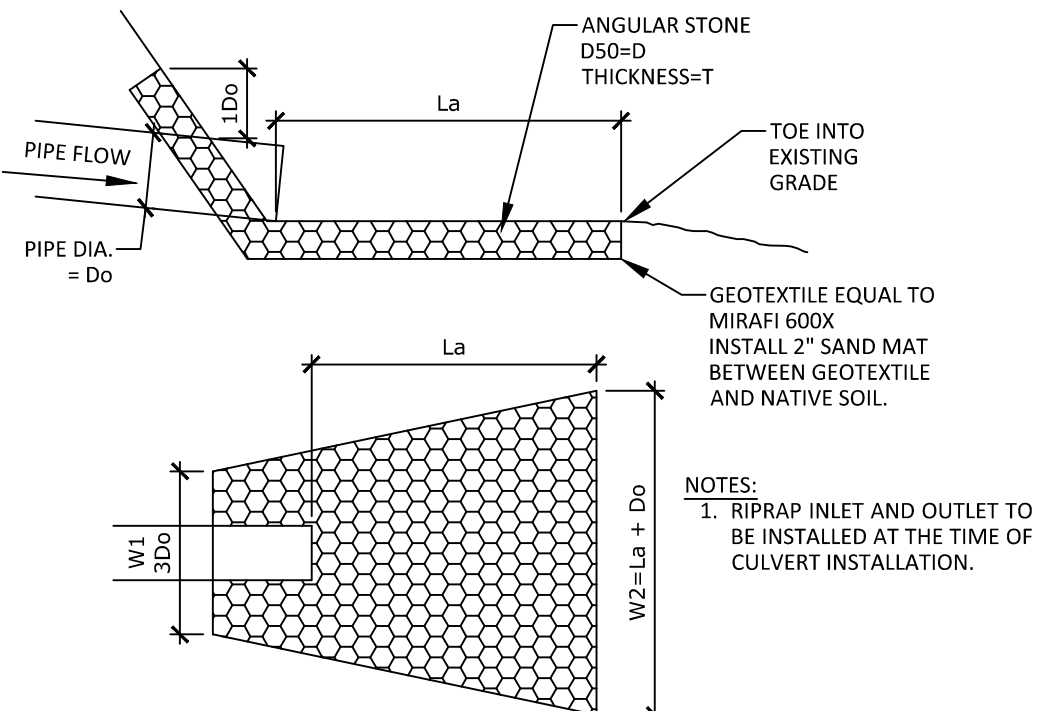


SIGN INSTALLATION  
NOT TO SCALE



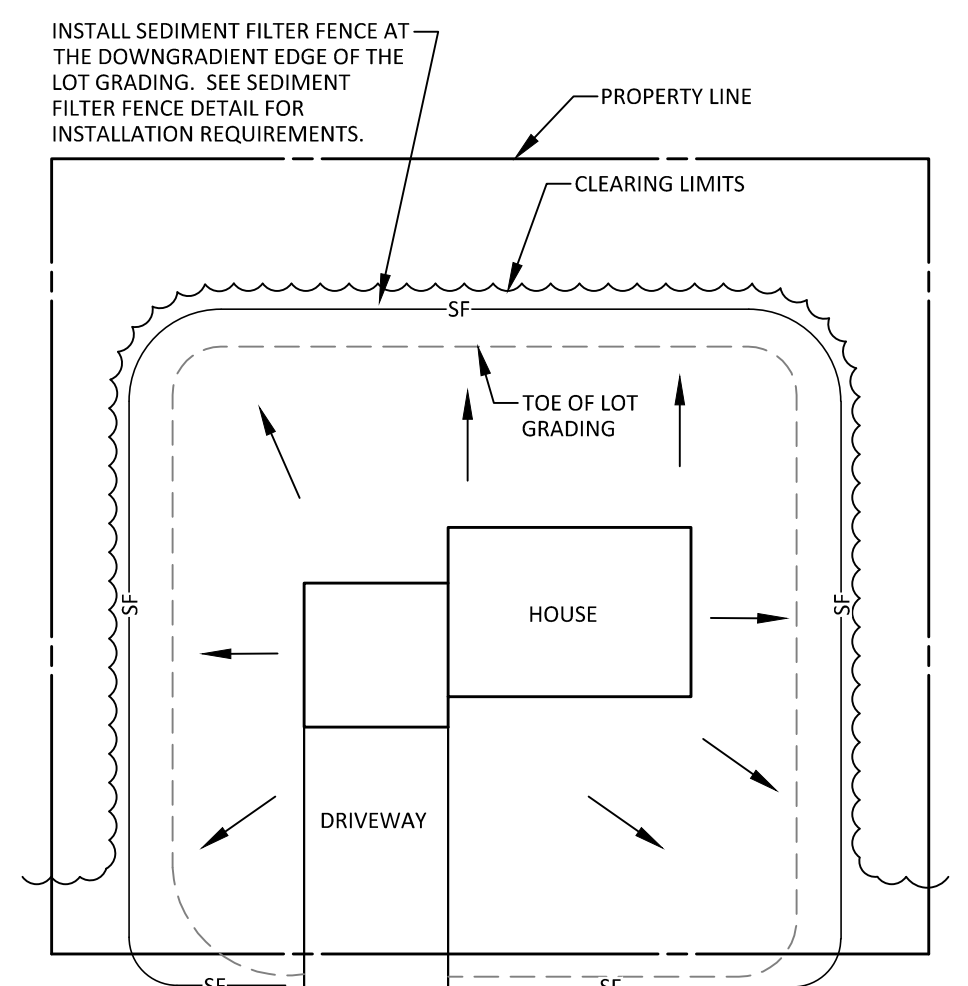
- NOTES:
- CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE.
  - THE AREA AROUND THE CHECK DAM SHOULD BE FREE OF DEBRIS.
  - A STONE CHECK DAM SHOULD BE COMPRISED OF WELL-GRADED CRUSHED ROCK WITH A MAXIMUM SIZE OF 6" AND A MINIMUM STONE SIZE OF 1".
  - THE MAXIMUM HEIGHT OF A CHECK DAM SHOULD BE 2' WITH A 6" DEPRESSION AT ITS CENTER FOR OVERFLOW. THE EDGES OF THE DAM SHOULD BE KEYPED INTO THE EMBANKMENTS TO PREVENT SIDE EROSION.
  - MECHANICAL PLACEMENT FOLLOWED BY HAND PLACEMENT WILL BE NECESSARY TO ACHIEVE A TIGHT MASS WITHIN THE CHANNEL AND TO ENSURE THAT THE CENTER OF THE DAM IS LOWER THAN THE EDGES.
  - ANY EROSION DOWNGRADIENT OR AROUND THE EDGES OF STONE CHECK DAMS SHOULD BE CORRECTED IMMEDIATELY.
  - THE CHECK DAMS MAY BE REMOVED WHEN THE SWALE IS STABILIZED WITH VEGETATION (90% COVERAGE).

STONE CHECK DAM  
NOT TO SCALE

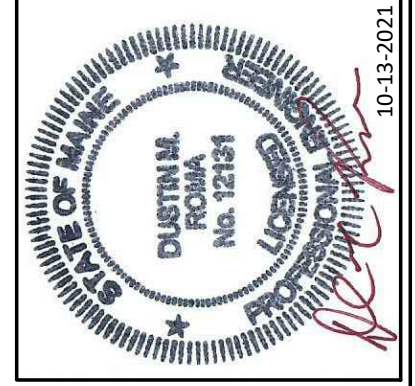


SD DIA.	W1	W2	La	D	T
4"	2'	5'	4'	4"	9"
12"	3'	5'	6'	6"	14"
15"	4'	9'	8'	6"	14"

RIPRAP APRON AT PIPE  
NOT TO SCALE



TYPICAL HOUSE LOT EROSION CONTROL DETAIL  
NOT TO SCALE



**DM ROMA**  
CONSULTING ENGINEERS  
P.O. BOX 1116  
WINDHAM, ME 04062  
(207) 310-0506

REV	DATE	BY	DESCRIPTION
A	4-14-21	DMR	ISSUED FOR TOWN REVIEW
B	7-14-21	DMR	ISSUED FOR PERMIT REVIEW
C	7-16-21	DMR	ISSUED FOR MDEP PERMIT REVIEW
D	10-13-21	DMR	RESUBMITTED TO TOWN

**DETAILS**  
BOULDER BEND SUBDIVISION  
BOULDER BEND DRIVE  
RAYMOND, MAINE  
FOR RECORD OWNER:  
**R. N. WILEY & SONS, INC.**  
P.O. BOX 28, 13 SCOTT DRIVE  
SOUTH CASCO, MAINE 04077

16041  
JOB NUMBER:  
AS NOTED  
SCALE:  
10-13-2021  
DATE:  
SHEET 8 OF 8  
D-2