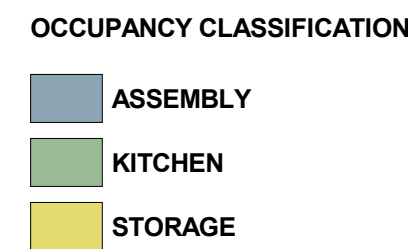
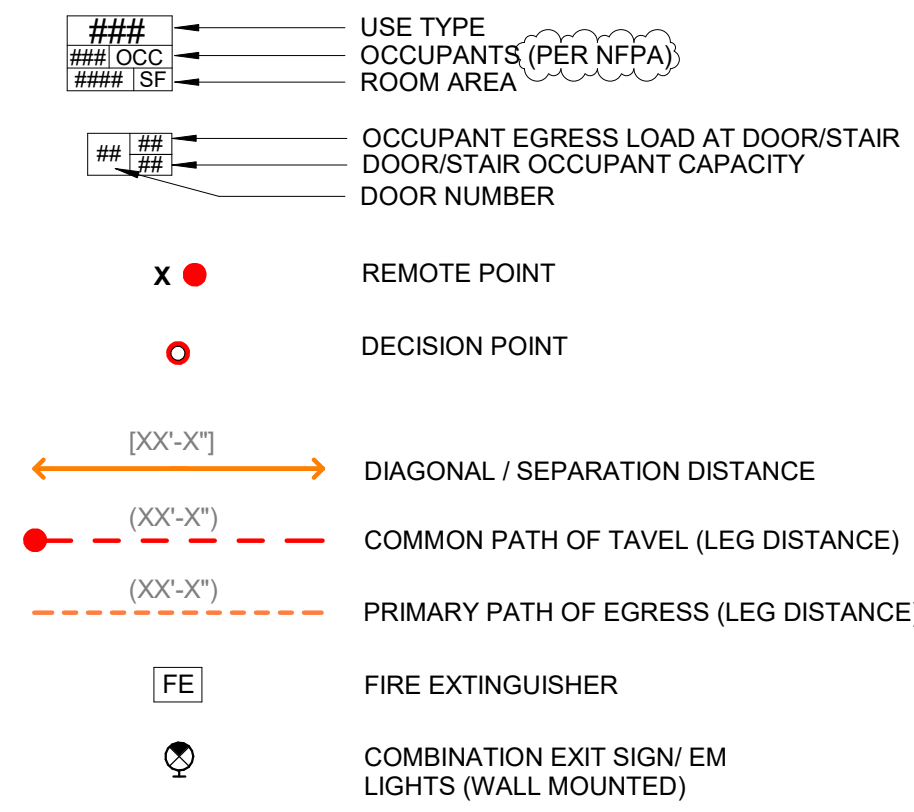


LIFE SAFETY NOTES:

- THESE LIFE SAFETY PLANS ARE MEANT TO SHOW CONFORMANCE WITH THE REGULATIONS EXISTING AT THE TIME OF CONSTRUCTION, OR AS INDICATED IN THE CODE SUMMARY NOTES. THESE DOCUMENTS ARE A COMPILATION OF EXISTING CONSTRUCTION DOCUMENTS, EXISTING CONDITIONS AS OBSERVED IN THE FIELD, AND CURRENT PROGRAMMATIC USE STATEMENTS. AN AS-BUILT SURVEY WAS NOT CONDUCTED FOR THE COMPLETION OF THESE DRAWINGS; SOME CONDITIONS MAY DIFFER FROM THOSE SHOWN.
- SEE G110 FOR PARTITION TYPES
- SEE ENLARGED PLANS AND INTERIOR ELEVATIONS FOR MOUNTING HEIGHTS OF F.A. DEVICES AND LIFE SAFETY SYSTEMS.
- WHERE THERE ARE DISCREPANCIES BETWEEN IBC AND NFPA, THE MOST RESTRICTIVE SHALL BE USED.

LIFE SAFETY PLAN LEGEND:



OCCUPANT LOAD CALCULATIONS
IBC TABLE 1004.1.2

OCC.	USE	NET OR GROSS	AREA	LOAD FACTOR	LOAD
A-2	COVERED PORCH ¹	NET	938	5 SQF /PERSON	188'
A-2	DINING HALL	NET*	3010*	15 SQF /PERSON	201
A-2	KITCHEN	GROSS	1032	200 SQF /PERSON	6
S-1	STORAGE	GROSS	22	300 SQF /PERSON	1
S-2	FOOD STORAGE	GROSS	470	300 SQF /PERSON	2
					210'

* THIS NUMBERS DOES NOT SUBTRACT TABLES AND CHAIRS
† COVERED PORCHES ARE EXTERIOR SPACE AND NOT INCLUDED IN BUILDING LOAD TOTAL

EGRESS CAPACITY (DOORS)
IBC 1005.5.3.2

DOOR	LOAD	WIDTH	CAPACITY FACTOR	CALC.
109	81	68"	.2	340
110	81	68"	.2	340
103A	8	68"	.2	340
101C	40	34"	.2	170
TOTAL	210			1,190

TRAVEL DISTANCE
IBC TABLE 1006.2.1

REMOTE POINT	EGRESS POINT	COMMON PATH		TOTAL DISTANCE
		ALLOWED	PROVIDED	
A	110	100'	6'-4"	66'-0"
A	101C	75'-0"	6'-4"	31'-0"
B	103A	75'-0"	4'-6"	33'-6"
B	101C	100'-0"	17'-6"	24'-1"

OCCUPANT LOAD CALCULATIONS
NFPA 101: TABLE 7.3.1.2 OCCUPANT LOAD FACTOR

OCC.	USE	NET OR GROSS	AREA	LOAD FACTOR	LOAD
ASSEMBLY	COVERED PORCH ¹	NET	938	7 SQF /PERSON	136'
ASSEMBLY	DINING HALL TABLES	NET*	2897*	15 SQF /PERSON	194
ASSEMBLY	DINING HALL STANDING	NET	113	7 SQF /PERSON	17
ASSEMBLY	KITCHEN	GROSS	1032	100 SQF /PERSON	11
STORAGE	STORAGE	GROSS	470	500 SQF /PERSON	3
					225'

EGRESS CAPACITY (DOORS)
OCC BY NFPA 1.7.3.1.2 / EGRESS WIDTH BY IBC 1005.3.2

DOOR	LOAD	WIDTH	CAPACITY FACTOR	CALC.
109	85	68"	.2	340
110	85	68"	.2	340
103A	13	68"	.2	340
101C	42	34"	.2	170
TOTAL	225			1,190

TRAVEL DISTANCE
NFPA TABLE A.7.6

REMOTE POINT	EGRESS POINT	COMMON PATH		TOTAL DISTANCE	
		ALLOWED*	PROVIDED	ALLOWED*	PROVIDED
A	110	75'-0"	6'-4"	200'-0"	66'-0"
A	101C	20'-0"	6'-4"	200'-0"	31'-0"
B	103A	50'-0"	25'-3"	200'-0"	64'-7"
B	101C	50'-0"	25'-3"	200'-0"	104'-5"

BUILDING INFORMATION:

Address: 85 PLAINS RD. RAYMOND, ME 04071
Zoning: LRR1
Parcel ID: Map 9 / Lot 19

Type of Construction: VB (Unprotected Combustible Construction)
Occupancy Type: A-2 Dining Facilities (IBC 303.3) Existing Assembly (NFPA 13.1)

Seasonal Dwelling: Chapter 1 - Maine Uniform Building and Energy Code - Administrative Procedures
Definitions : 13. Seasonal Dwelling
Conformance with IECC is not required.
- Occupied less than 180 days a calendar year
- No central heating system installed
- No heating appliance with fuel supply capable of heating for 24 hours
- Water supply limited to <180 days of use per calendar year.

Bldg Area, Pre-Renovation: 3450 sf
Bldg Area, Post-Renovation: 4783 sf
New Construction Area: 2,829 sf
Delta / Area Added: 1333 sf (38.6% of Pre-Renovation)

Building Height: 1 Story (1 Story Allowable per IBC 504.4 & NFPA 13.1.6 <1000 occupants)

CODE SUMMARY:

APPLICABLE CODES
Raymond's Adopted Code / MUREC:
2015 International Building Code (IBC)

Fire/ Life Safety
NFPA Life Safety Code as adopted by the State of Maine including but not limited to:
NFPA 1 2018
NFPA 101 2018: Life Safety Code
Accessibility
2010 ADA Standards for Accessible Design
Fire Protection Ordinance

AUTOMATIC SUPPRESSION SYSTEM
None Provided

EXIT ACCESS*
Allowed Common Path
IBC 1006.2.1
A 75' (OL > 30)
S 100' (OL ≤ 30)

Allowed Common Path / Allowed Max travel distance
NFPA 101, Table A.7.6
Assembly 20' (OL < 50) / 200'
Storage 50' / 200'

Dead-End Corridor
NFPA 101 Table A.7.6
Assembly 20'
Storage 50'

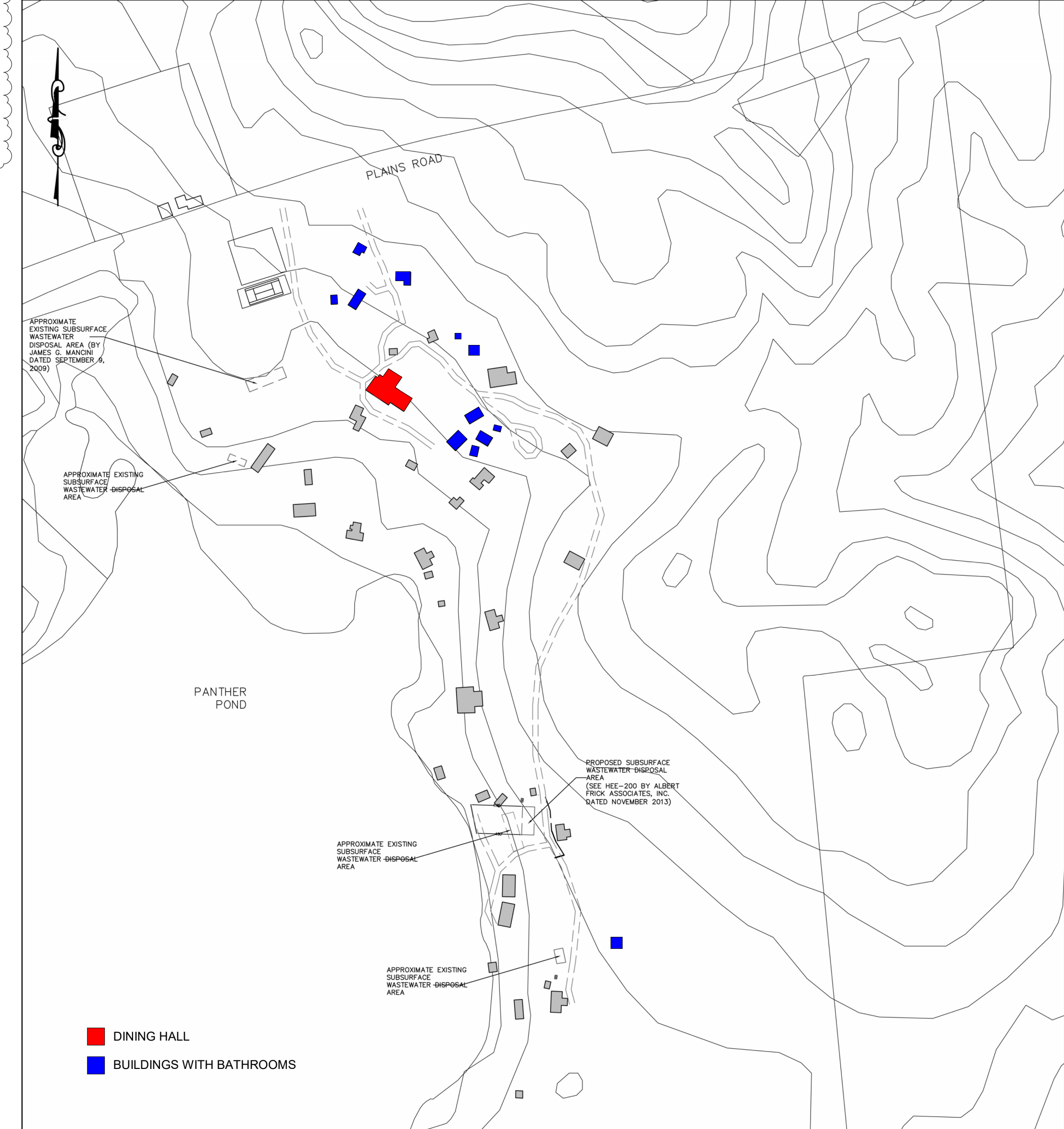
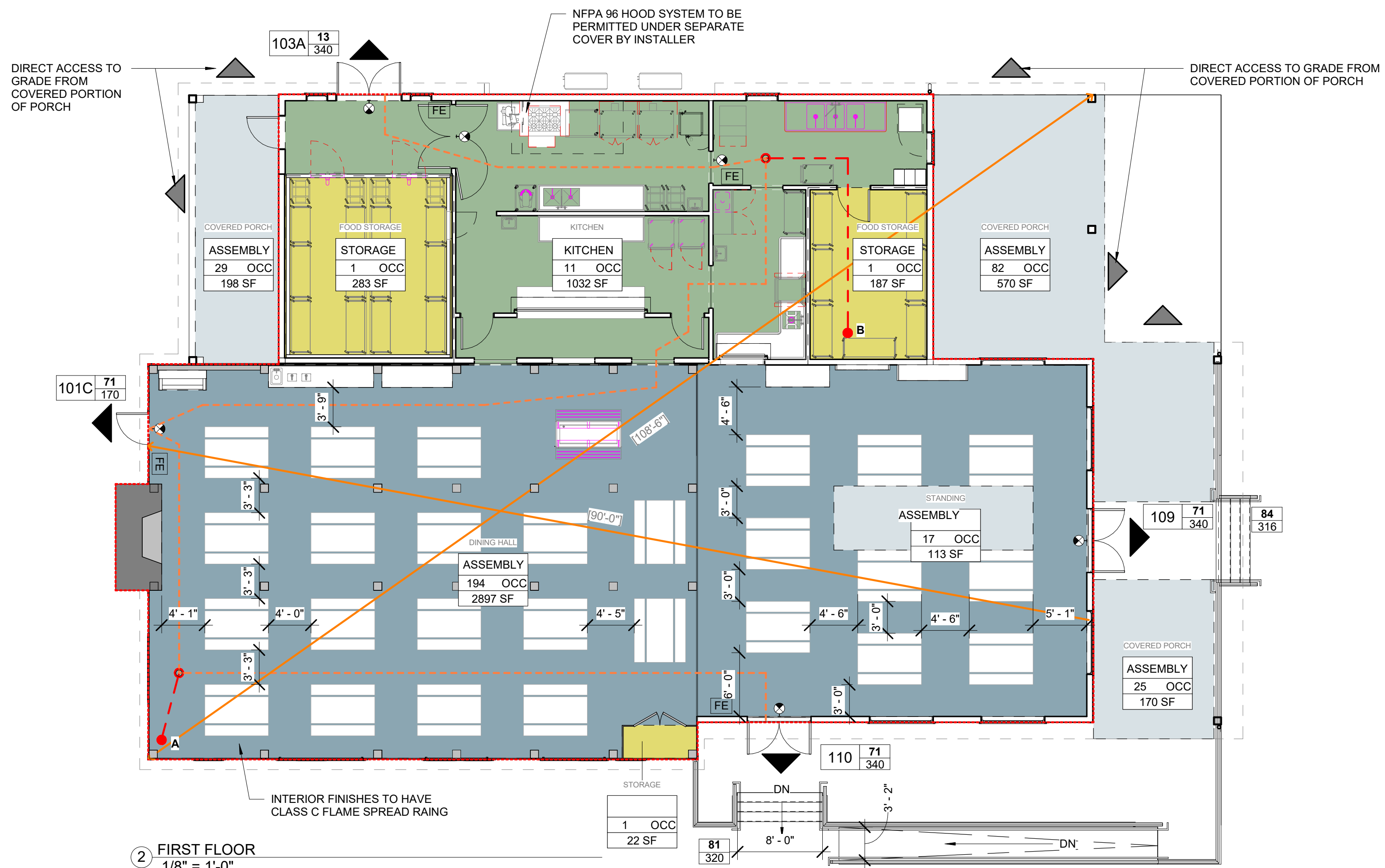
NOTE: All Codes shall include changes/amendments by the State of Maine

OCCUPANCY CLASSIFICATION AND LOAD

IBC 302	Assembly	A-2	Assembly w/o fixed seats, unconcentrated	IBC 1004.1.2
Assembly	A-2	Assembly w/o fixed seats, unconcentrated	15 net	
Assembly	A-2	Kitchen associated with dining facility	200 gross	
Assembly	A-2	Assembly w/o fixed seats, standing space	5 net	
Storage	S-2	[Accessory Occupancy <10% of building area]	300 gross	

NFPA 7.3.1.2	Assembly	Less concentrated w/out fixed seats	NFPA 7.3.1.2
Assembly	Assembly	Less concentrated w/out fixed seats	15 net
Assembly	Assembly	Kitchen	100 gross
Storage	Storage	Concentrated w/out fixed seats	7 net
		Other than storage and mercantile	500 gross

PLUMBING COUNT
No restrooms are currently provided within the existing dining hall. The current campers and staff use the existing restrooms on campus highlighted in blue on the plan below. Due to site constraints and complexity of tying an additional restroom into the current septic system, no restroom is proposed in the replacement of the kitchen as part of this scope of work.



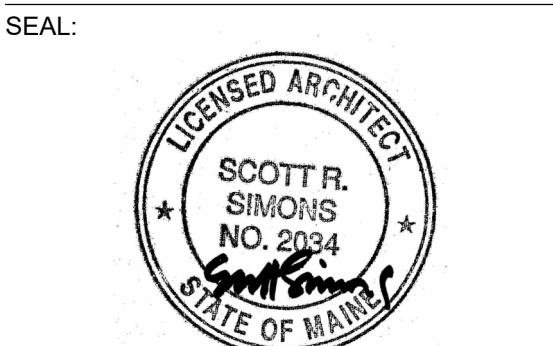
⑤ CAMPUS MAP
1" = 160'-0"



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PROJECT NAME:
CAMP TIMANOUS DINING HALL

85 PLAINS RD.
RAYMOND, ME 04071



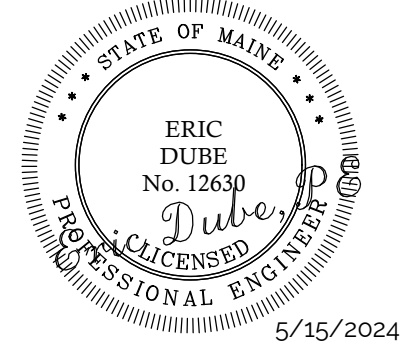
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ISSUANCES
2 BULLETIN 1 05.10.24

DATE OF ISSUE: 05/10/2024
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LIFE SAFETY PLAN + CODE SUMMARY

G101



**CAMP TIMANOUS
DINING HALL RENOVATION**

85 PLAINS ROAD
RAYMOND, MAINE

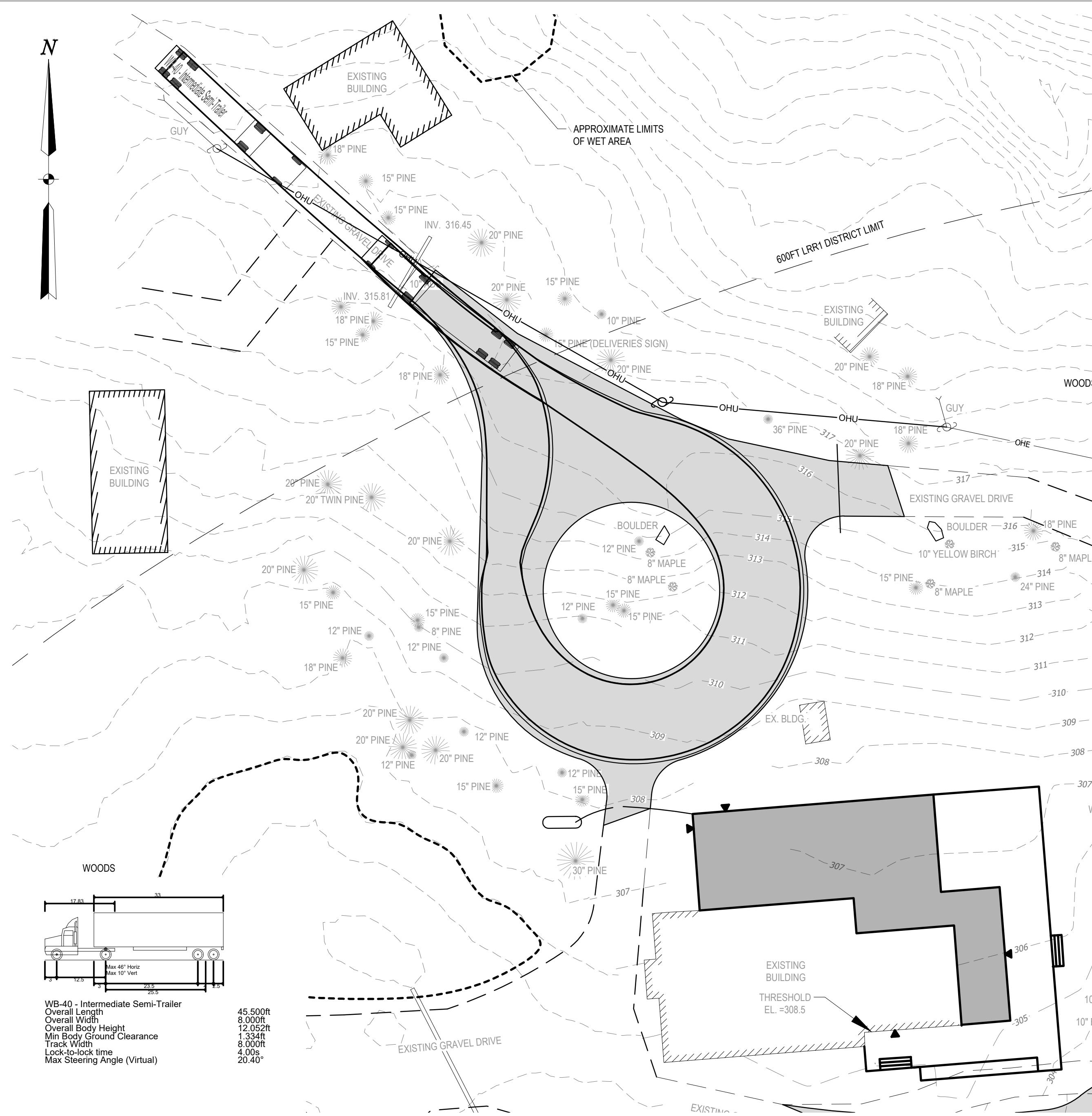
ISSUED NUMBER	DESCRIPTION	BY	DATE
B	REVISED BUILDING SIZE PER PLANNING BOARD	ED	5/15/2024

SHEET TITLE:

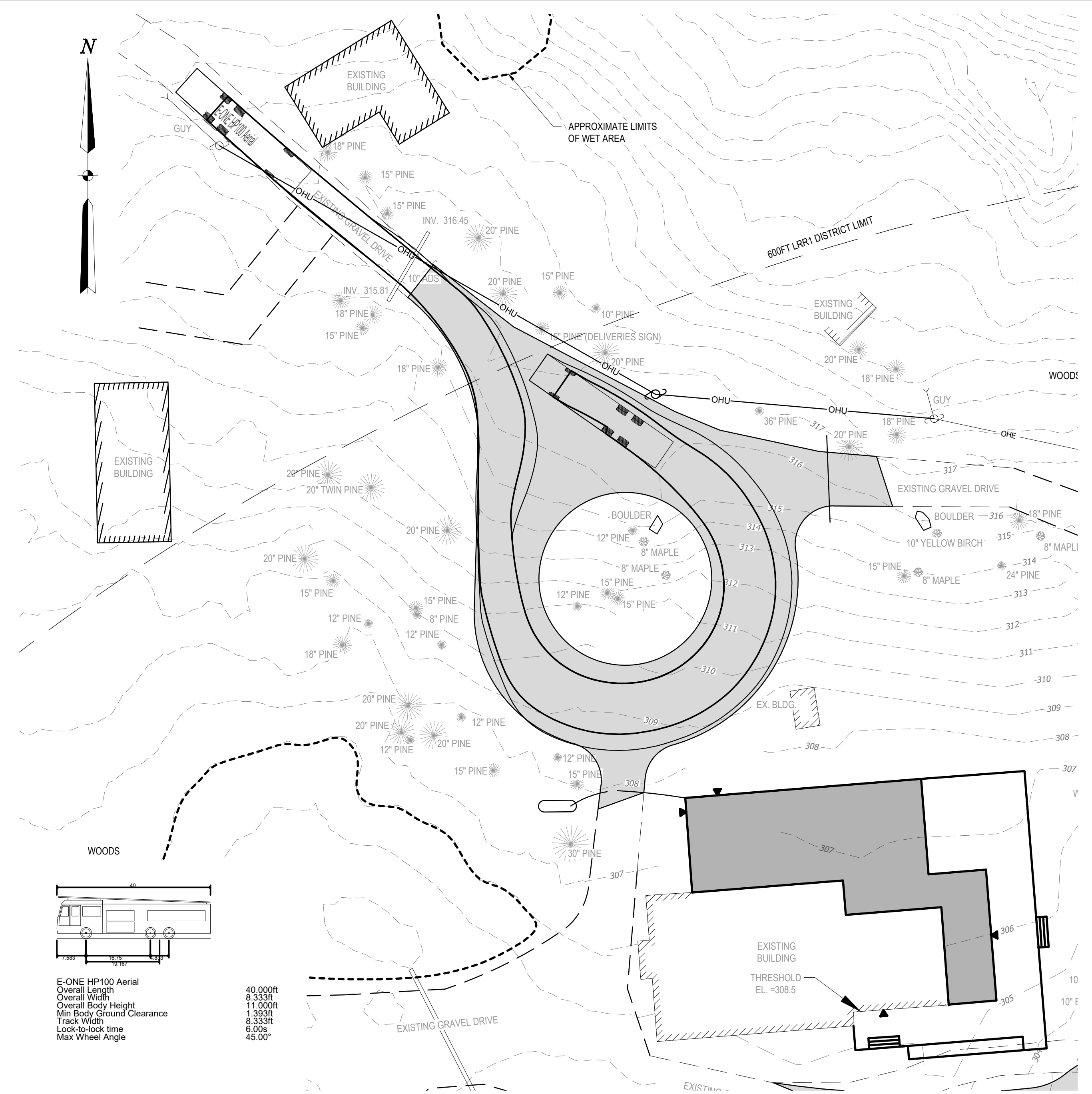
**VEHICLE TURNING
MOVEMENT PLAN**

DESIGNED BY: BVD
DRAWN BY: BVD
PROJECT NUMBER: 22-224

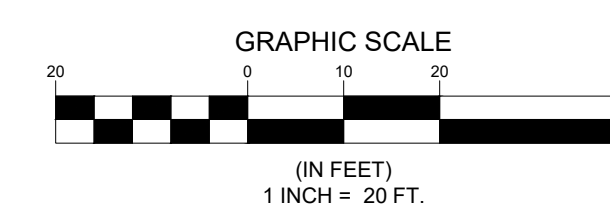
C102

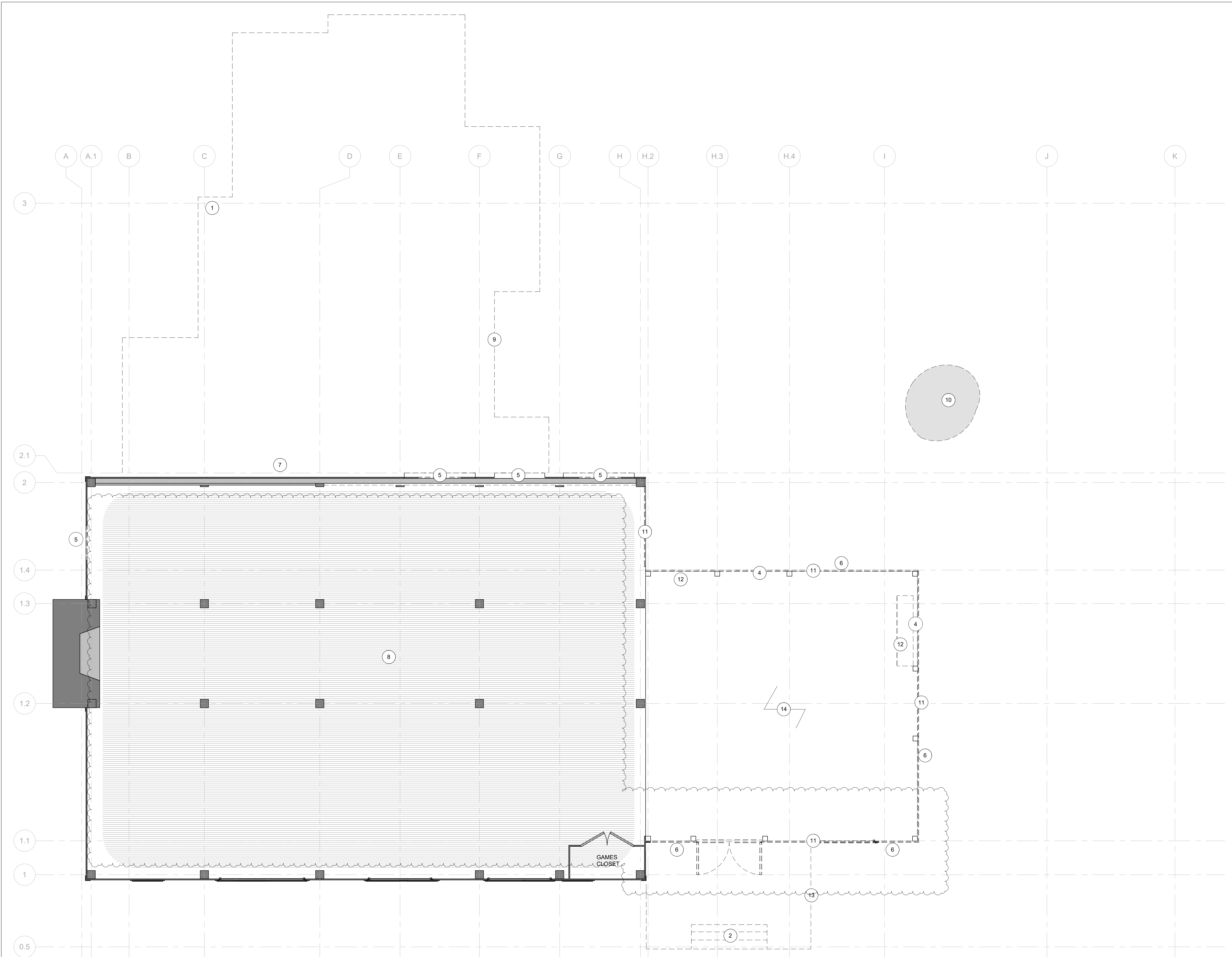


1 VEHICLE TURNING MOVEMENT - WB-40
1" = 20'



2 VEHICLE TURNING MOVEMENT - E-ONE AERIAL FIRE TRUCK
1" = 20'





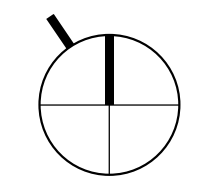
1 FIRST FLOOR DEMO PLAN
1/4" = 1'-0"
GRAPHIC SCALE

DEMO PLAN KEYNOTES

NO.	TEXT
1	APPROXIMATE LOCATION OF ELECTRICAL PANELS.
2	SALVAGE GRANITE TREADS FOR REUSE.
3	NOT USED
4	DEMO EXISTING WALL. PATCH AND REPAIR ADJACENT WALL AS NEEDED
5	CUT OPENING IN WALL FOR NEW DOOR OR WINDOW OPENING. PATCH AND REPAIR ADJACENT WALL AS NEEDED. NOTE: SEE STRUCTURAL RE: RELOCATION OF EXISTING TIMBER BEAM.
6	SIDING TO BE SALVAGED FOR REUSE
7	PREP EXTERIOR WALL FOR SHORING. COORDINATE WITH STRUCTURAL.
8	WOOD FLOORING TO REMAIN PROTECT DURING CONSTRUCTION UNTIL READY TO BE REFINISHED
9	EXISTING KITCHEN AND ACCOMPANYING STRUCTURES TO BE DEMOLISHED. LINES SHOWN HERE ARE FOR ILLUSTRATION PURPOSES ONLY AND DO NOT REFLECT ACTUAL MEASUREMENTS
10	BOULDER TO BE REMOVED, SEE CIVIL
11	ENTIRE WALL TO BE DEMOLISHED
12	SHELVES AND MAILBOXES TO BE RELOCATED
13	EXISTING DECK TO BE DEMOLISHED
14	ALL OF RESTAURANT SECTION TO BE DEMOLISHED

- GENERAL NOTES**
- A. SEE STRUCTURAL DOCUMENTS FOR ADDITIONAL DEMOLITION WORK AT EXISTING.
 - B. GC SHALL BE RESPONSIBLE FOR ALL TEMPORARY SUPPORT, SHORING, AND BRACING AS REQUIRED.
 - C. WORK TO BE SEQUENCED, SCHEDULED, AND OTHERWISE COORDINATED WITH OWNER.
 - D. GC TO PROTECT ADJACENT AREAS NOT AFFECTED BY CONSTRUCTION.
 - E. GC TO FIELD VERIFY CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION. ALERT ARCHITECT IMMEDIATELY OF ANY AND ALL DISCREPANCIES.
 - F. EXISTING MATERIALS NOTED FOR REMOVAL SHALL MEAN THE FULL REMOVAL AND PROPER OFFSITE DISPOSAL PER APPLICABLE REGULATIONS. OWNER RESERVES THE RIGHT TO RETAIN ANY ITEM NOTED FOR DEMOLITION.
 - G. GC SHALL COORDINATE EXTENT OF DEMOLITION PER REQUIREMENTS OF NEW CONSTRUCTION.
 - H. MEP TO BE REMOVED SHALL EITHER BE REMOVED BACK TO SOURCE OR LOCATED OUT OF HARM'S WAY FOR RELOCATION IN NEW CONSTRUCTION. GC SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING AS REQUIRED FOR STRUCTURAL, MEP, AND FIRE PROTECTION WORK. COORDINATE AS REQUIRED. NEW AND ABANDONED OPENINGS TO BE PATCHED AND REPAIRED TO MATCH EXISTING.
 - I. AREAS OF BUILDING NOTE PART OF THIS SCOPE OF WORK ARE SHOWN HATCHED FOR GENERAL REFERENCE ONLY. SOME MEP WORK WILL REQUIRE INTERVENTION BEYOND LIMIT OF WORK AREAS.
 - J. GC SHALL PROTECT ALL STRUCTURAL ELEMENTS TO REMAIN DURING DEMOLITION INCLUDING, BUT NOT LIMITED TO, WOOD BEAMS, COLUMNS, TRUSSES, FRAMING, AND FOUNDATIONS AS INDICATED ON STRUCTURAL DOCUMENTS.
 - K. ALL UTILITIES TO BE FIELD VERIFIED WITH TOWN OF RAYMOND PRIOR TO ANY DIGGING. EXPECT THAT HAND DIGGING WILL BE REQUIRED TO DETERMINE ACTUAL DEPTH OF UTILITIES.

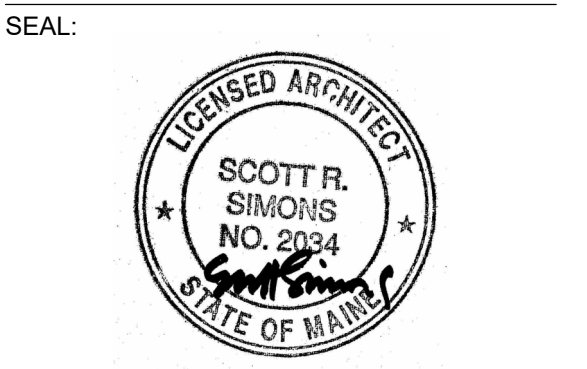
REFERENCE COVER FOR SYMBOL LEGEND



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PROJECT NAME:
**CAMP TIMANOUS
DINING HALL**

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ISSUANCES

NO.	DESCRIPTION	DATE
1	50% DESIGN DEVELOPMENT	10.13.23
2	BULLETIN 1	05.10.24

DATE OF ISSUE: 05/10/2024
PROJECT NUMBER: 2023-0050
STATUS: BULLETIN 1

**DEMOLITION
PLAN - LEVEL
01**

DM101



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- PLAN KEYNOTES**
- | NO. | TEXT |
|-----|--|
| 1 | OWNER SUPPLIED WOOD SHELVING, GC TO MOUNT ON NEW WALL, RE: BLOCKING |
| 2 | LOCKERS BY OWNER, GC TO INSTALL |
| 3 | REFERENCE KITCHEN DRAWINGS FOR SPECIFIC DRAIN AND ELECTRICAL LOCATION |
| 4 | OVERHEAD WOOD ROLLING SHUTTER |
| 5 | CASED 48" WIDE WINDOW OPENING, MATCH SILL AND HEAD HEIGHTS WITH SERVING COUNTER |
| 6 | FINISHED OPENING, COORDINATE WITH KITCHEN EQUIPMENT DRAWINGS |
| 7 | H.C. RAMP SLOPE @ 1"12' - 0" |
| 8 | LOCATION OF TREE TO BE VERIFIED |
| 9 | OUTLINE OF EXISTING BUILDING BELOW. ALL FLOOR IS NEW |
| 10 | DEPRESSED SLAB, COORD WITH STRUCTURAL DRAWINGS |
| 11 | DOUBLE ACTING DOOR. SEE SCHEDULE FOR MORE INFORMATION |
| 12 | 8X8 COLUMNS, TYP |
| 13 | DEPRESS SLAB AS NEEDED SO THAT FINISH FLOOR IS LEVEL WITH ETR IN DINING HALL AND NEW IN KITCHEN. COORDINATE WITH SCHEDULED FINISH. |
| 14 | DOWNSPOUT |

- GENERAL NOTES**
- SEE STRUCTURAL DOCUMENTS FOR FULL STRUCTURAL SCOPE OF WORK
 - GC SHALL BE RESPONSIBLE FOR ALL TEMPORARY SUPPORT, SHORING, AND BRACING AS REQUIRED.
 - WORK TO BE SEQUENCED, SCHEDULED, AND OTHERWISE COORDINATED WITH OWNER.
 - GC TO PROTECT ADJACENT AREAS NOT AFFECTED BY CONSTRUCTION.
 - GC TO FIELD VERIFY CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION. ALERT ARCHITECT IMMEDIATELY OF ANY AND ALL DISCREPANCIES.
 - AREAS OF BUILDING NOTE PART OF THIS SCOPE OF WORK ARE SHOWN HATCHED FOR GENERAL REFERENCE ONLY. SOME MEP WORK WILL REQUIRE INTERVENTION BEYOND LIMIT OF WORK AREAS.
 - ALL UTILITIES TO BE FIELD VERIFIED WITH TOWN OF RAYMOND PRIOR TO ANY DIGGING. EXPECT THAT HAND DIGGING WILL BE REQUIRED TO DETERMINE ACTUAL DEPTH OF UTILITIES.

EXISTING VS NEW LEGEND

EXISTING

NEW

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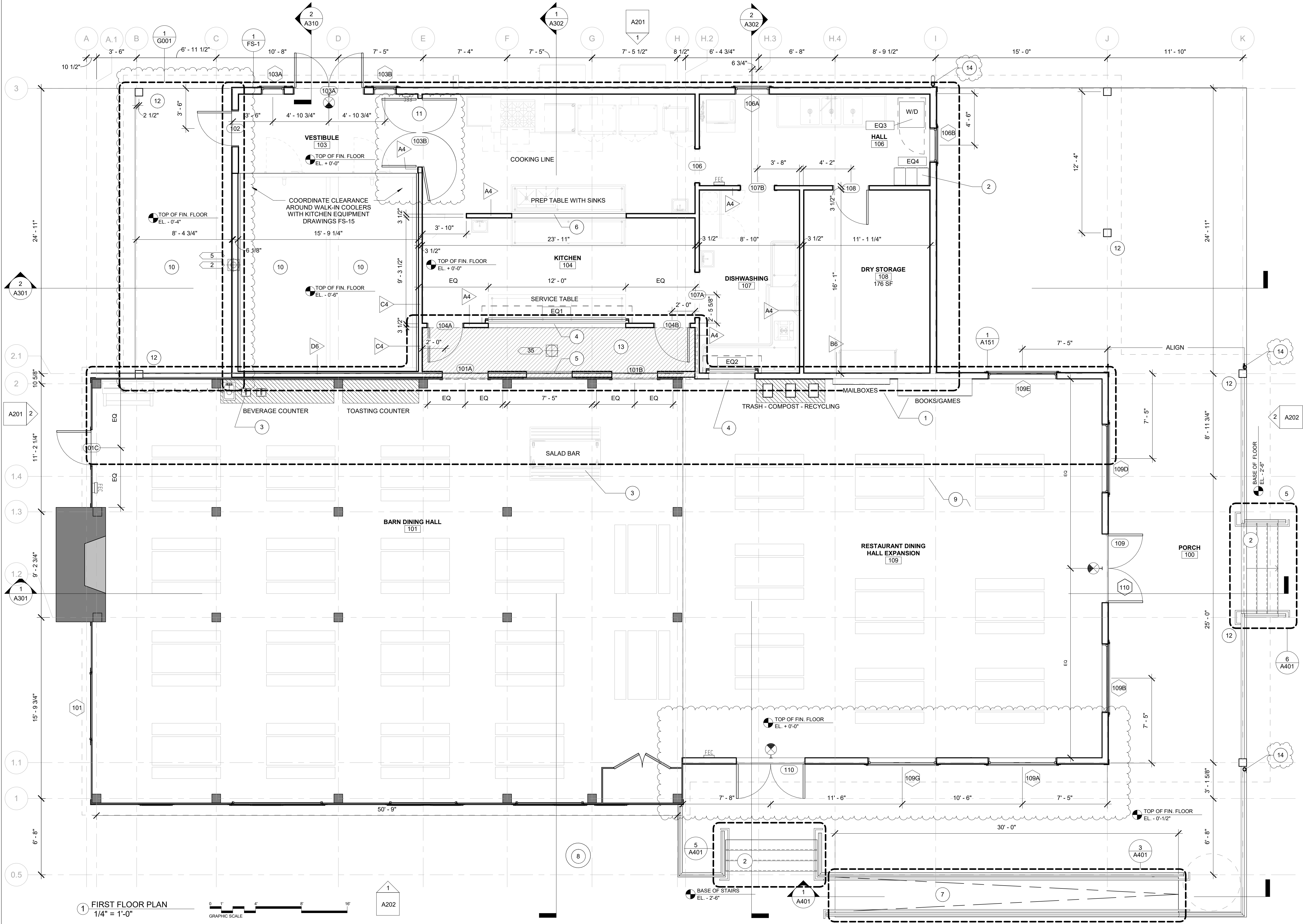
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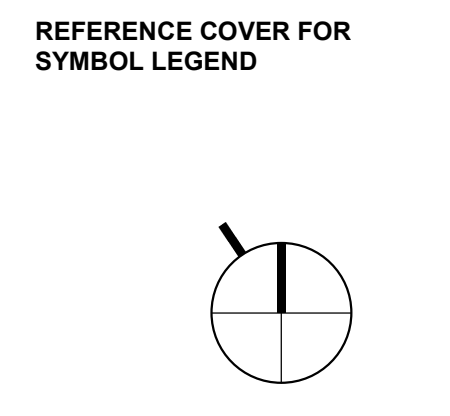
CONSTRUCTION PLAN

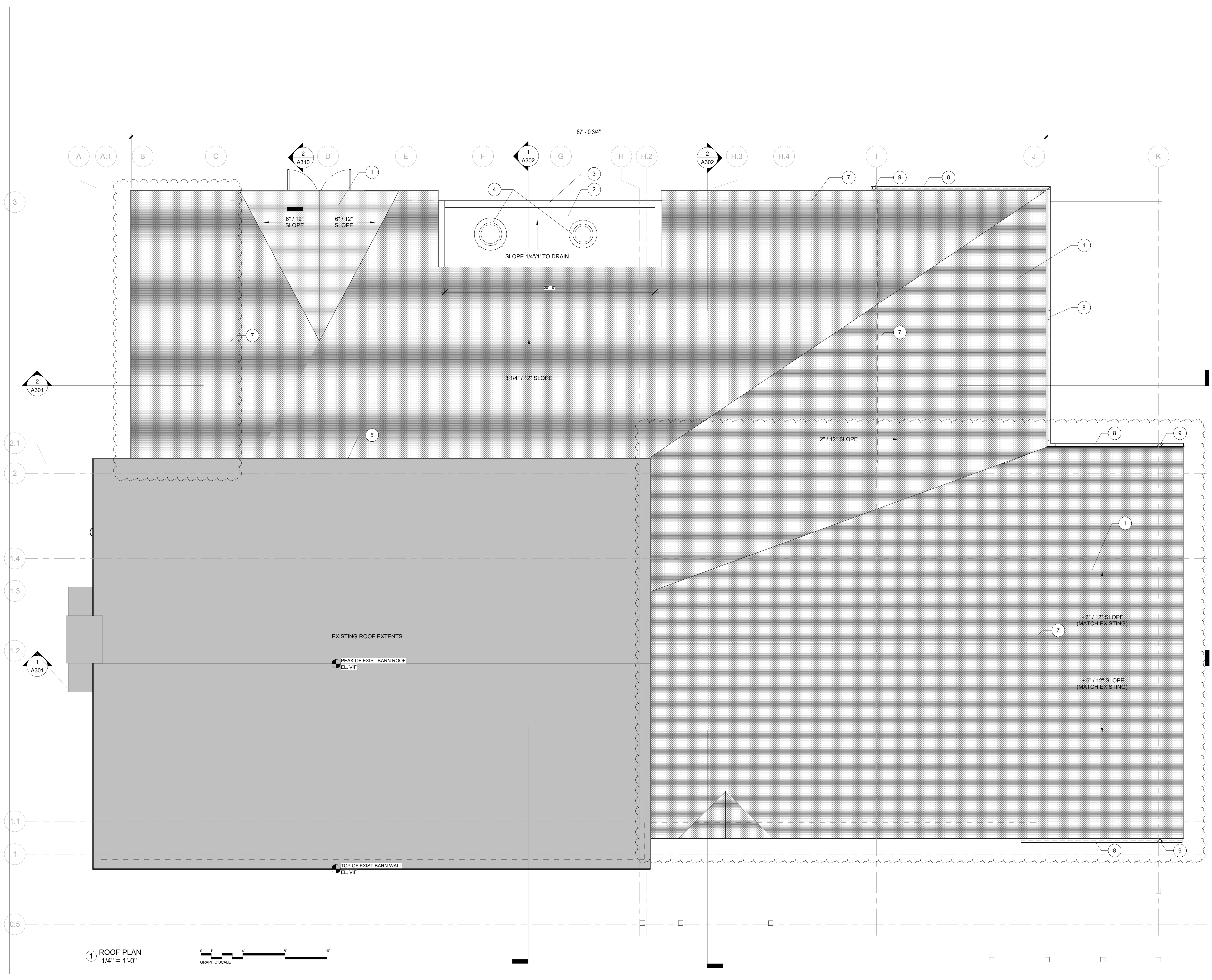
A101



1 FIRST FLOOR PLAN
1/4" = 1'-0"

GRAPHIC SCALE





KEY NOTES

ROOF KEYNOTES	
NO.	TEXT
1	NEW ROOF SHINGLES TO MATCH EXISTING
2	EPDM FLAT ROOF SLOPED AT 1/4"/1"
3	ROOF EDGE FLASHING
4	ROOFTOP KITCHEN EQUIPMENT
5	FLASH OVER EXISTING FASCIA TO TIE EXISTING ROOF INTO NEW
7	FOOTPRINT OF BLDG.
8	GUTTER
9	DOWNSPOUT

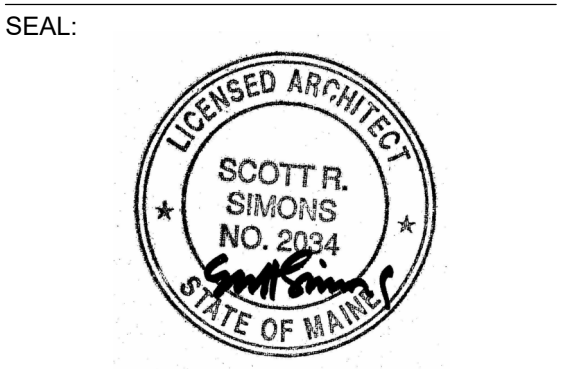
- GENERAL NOTES**
- A. SEE STRUCTURAL DOCUMENTS FOR ADDITIONAL WORK.
 - B. DESIGN INTENT IS FOR THE NEW ROOF TO ALIGN WITH EXISTING ROOF.
 - C. MATCH EXISTING OVERHANG + SOFFIT DETAILS.



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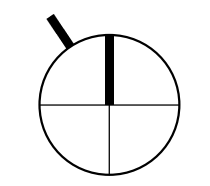
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DATE OF ISSUE: 05/10/2024
PROJECT NUMBER: 2023-0050
STATUS: BULLETIN 1

ROOF PLAN

REFERENCE COVER FOR SYMBOL LEGEND



A102

1 ROOF PLAN
1/4" = 1'-0"
GRAPHIC SCALE


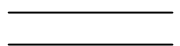
FINISH SCHEDULE								
NO	ROOM NAME	FLOOR		WALLS			CEILING	NOTES
		BASE	FLOOR	NORTH	SOUTH	EAST		
100	PORCH	N/A	WD2	N/A	N/A	N/A	N/A	
101	BARN DINING HALL	ETR	ETR	ETR	ETR	ETR	ETR	
103	VESTIBULE	RB	RF	PT1	PT1	PT1	PT1	ACT
104	KITCHEN	RB	RF	FRP	FRP	FRP	FRP	ACT
105	SERVING	WD3	WD1	PT1	PT1	PT1	PT1	WD5
106	HALL	RB	RF	FRP	FRP	FRP	FRP	ACT

FINISH SCHEDULE								
NO	ROOM NAME	FLOOR		WALLS			CEILING	NOTES
		BASE	FLOOR	NORTH	SOUTH	EAST		
107	DISHWASHING	RB	RF	FRP	FRP	FRP	FRP	ACT
108	DRY STORAGE	RB	RF	PT1	PT1	PT1	PT1	ACT
109	RESTAURANT DINING HALL EXPANSION	WD3	WD1	WD4	WD4	WD4	WD4	WD5

FINISH KEYNOTES	
NO.	TEXT
1	NEW FLOORING ON NEW FRAMING
2	NEW FLOORING ON NEW SLAB
3	SALVAGED SHEATHING REINSTALLED ON WALLS
4	RUBBER TRANSITION STRIP
5	DEPRESS SLAB AS NEEDED SO THAT FINISH FLOOR IS LEVEL WITH ETR IN DINING HALL AND NEW IN KITCHEN. COORDINATE WITH SCHEDULED FINISH.
6	REFINISH EXISTING WOOD FLOOR IN PLACE
7	ENSURE NEW FLOOR IS LEVEL WITH ETR

- GENERAL NOTES**
- A. WORK TO BE SEQUENCED, SCHEDULED, AND OTHERWISE COORDINATED WITH OWNER.
 - B. GO TO PROTECT ADJACENT AREAS NOT AFFECTED BY CONSTRUCTION.
 - C. GO TO FIELD VERIFY CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION. ALERT ARCHITECT IMMEDIATELY OF ANY AND ALL DISCREPANCIES.
 - D. REFER TO SHEET A600 FOR FINISH SCHEDULE AND INFORMATION
 - E. REFER TO INTERIOR ELEVATIONS FOR MORE DETAIL ON FINISHES AND EQUIPMENT LAYOUT.

EXISTING VS NEW LEGEND

- EXISTING 
- NEW 

REFERENCE COVER FOR SYMBOL LEGEND

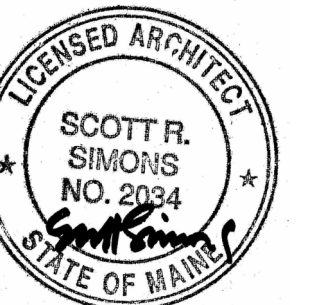


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SEAL:



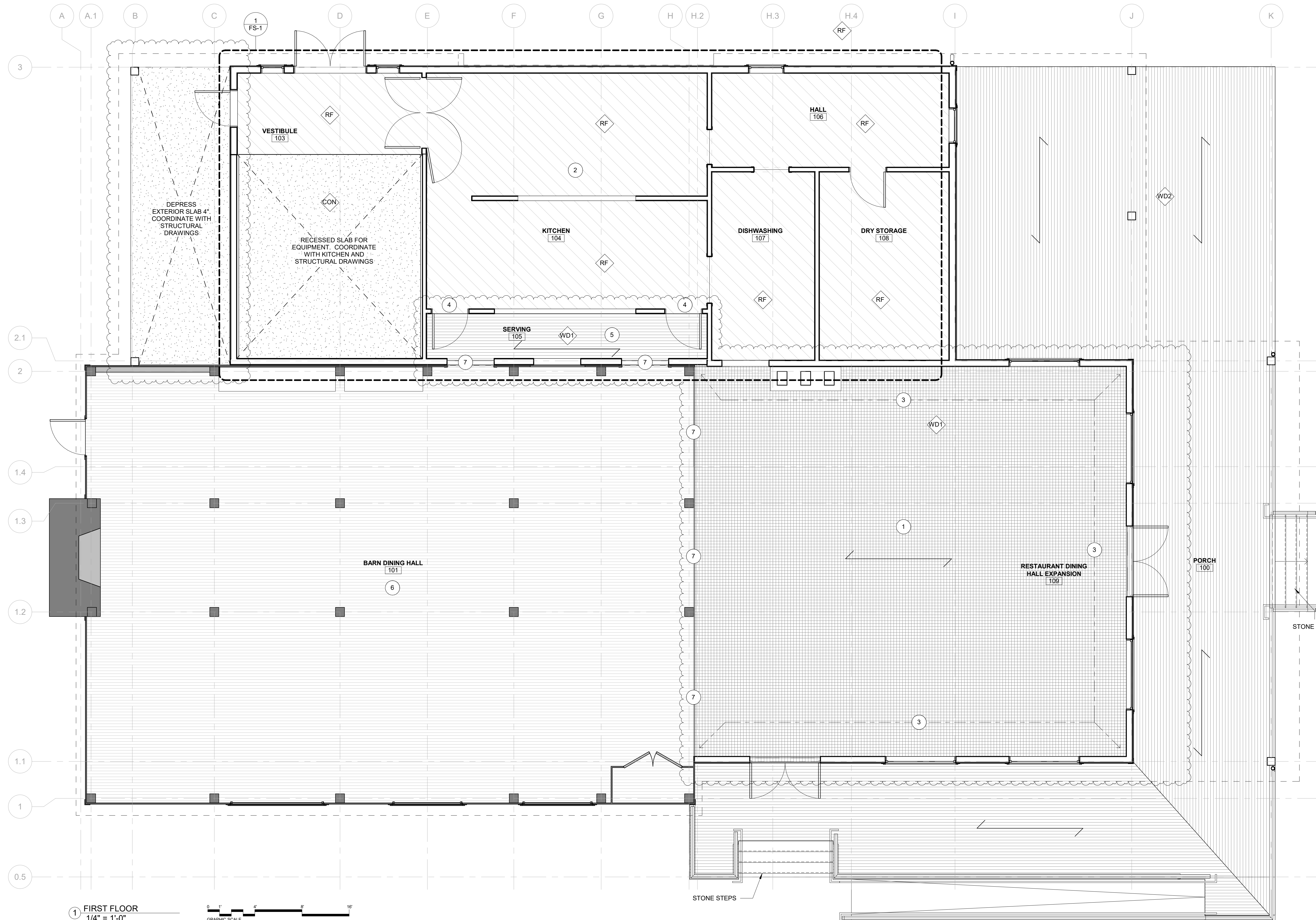
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ISSUANCES	DATE
2 BULLETIN 1	05.10.24

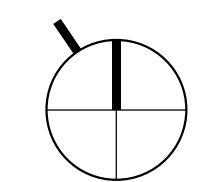
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PROJECT NUMBER: 2023-0050
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FINISH PLAN

A121



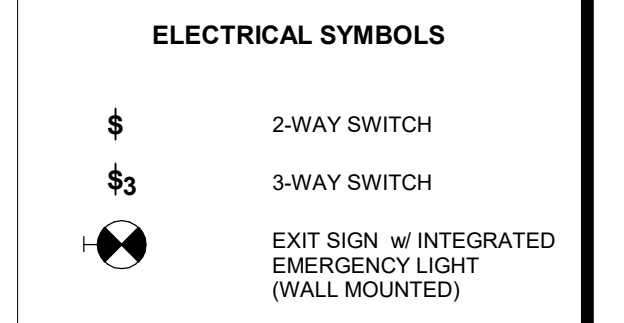
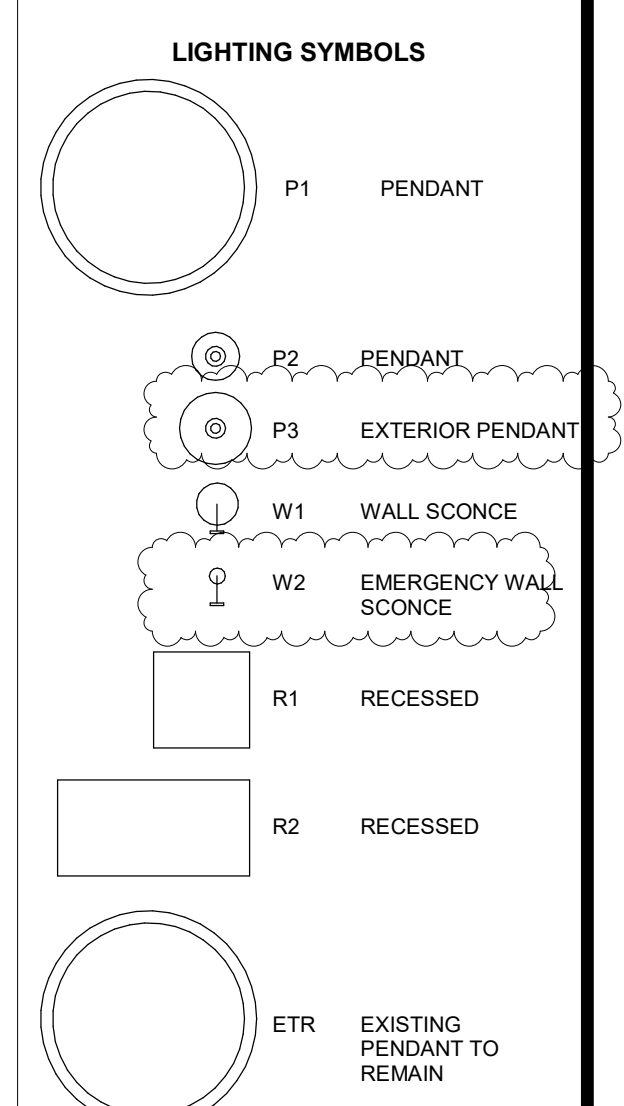
1 FIRST FLOOR
1/4" = 1'-0"



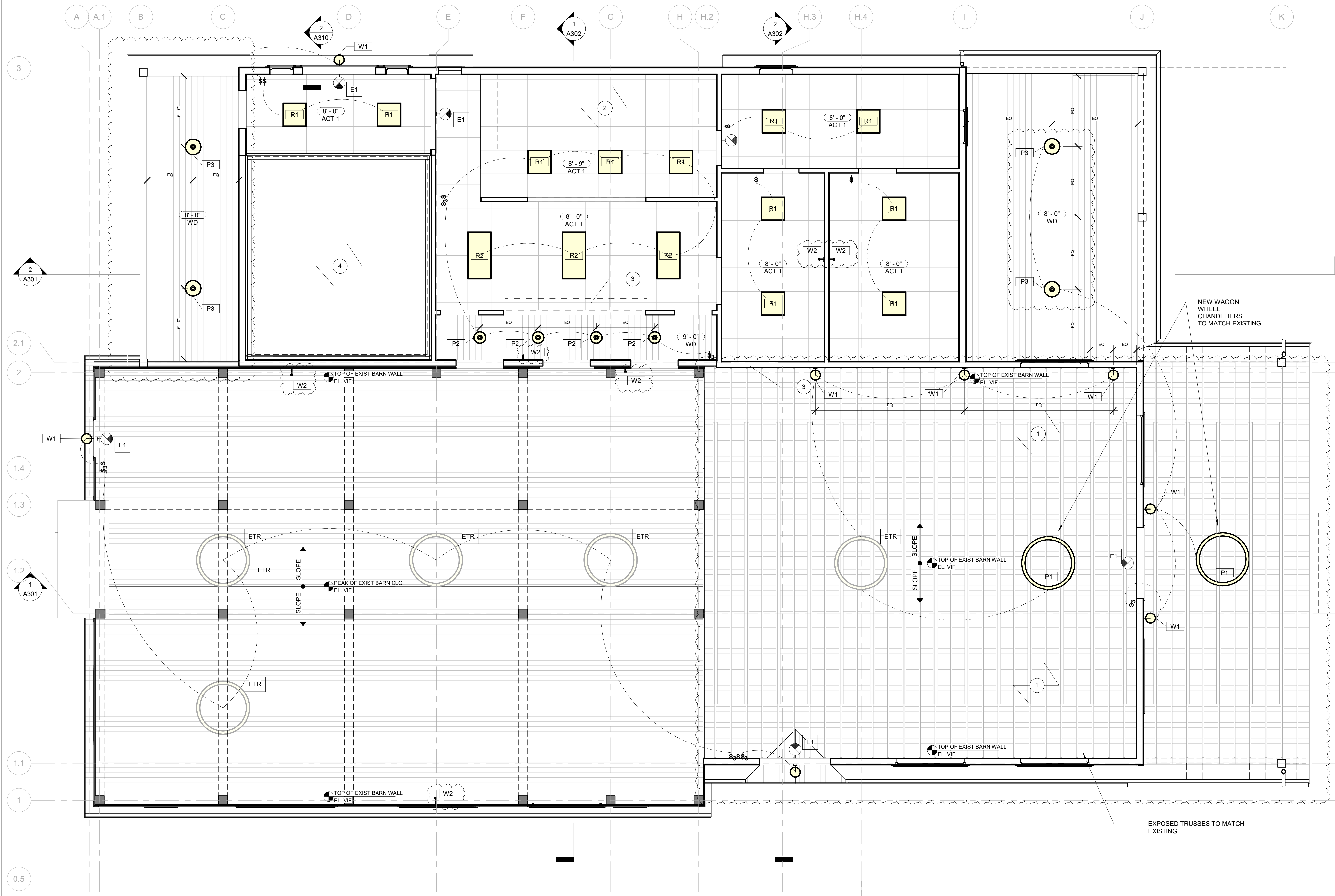
TAG	DESCRIPTION
R1	2X2 TROFFER - LITHONIA FS SERIES LED IN-GRID RECESSED LIGHTING OR EQUAL
R2	2X4 TROFFER - LITHONIA FS SERIES LED IN-GRID RECESSED LIGHTING OR EQUAL
P1	WAGON WHEEL CHANDELIER - CUSTOM FIXTURE TO MATCH EXISTING, BY OWNER, CONTRACTOR INSTALLED, CENTERED ON BOTTOM CHORD
P2	INTERIOR PENDANT DOWNLIGHT - SCHOOLHOUSE FACTORY 4 CORD PENDANT IN JUNIPER-GLOSS
P3	EXTERIOR PENDANT DOWNLIGHT - STEEL LIGHTING COMPANY CARSON INDUSTRIAL PENDANT LIGHT IN GREEN POWDERCOAT FINISH
W1	WALL MOUNTED EXTERIOR DOWNLIGHT - STEEL LIGHTING COMPANY HAWTHORNE FIXTURE, 11" GOOSENECK MOUNTING IN GREEN POWDERCOAT FINISH
W2	WALL MOUNTED EMERGENCY LIGHT - BARRON EXITONIX NF1 CYLINDER STYLE (OR APPROVED EQUAL)
E1	WALL MOUNTED EXIT SIGN WITH BUILT IN EMERGENCY LIGHT

RCP KEYNOTES	
NO.	TEXT
1	REINSTALL SALVAGED SHEATHING ON EXPOSED UNDERSIDE OF ROOF DECK
2	EXHAUST HOOD, REF KITCHEN DRAWINGS
3	OVERHEAD WOOD ROLLING SHUTTER
4	WALK-IN REFRIGERATORS HAVE INTEGRATED LIGHTING, COORDINATE WITH FOODSERVICE DRAWINGS

- GENERAL NOTES**
- A. LIGHTS TO BE CENTERED IN ROOM U.O.N.
 - B. IN NEW DINING HALL SPACE, PENDANT LIGHTS TO BE CENTERED BETWEEN TRUSSES, TYP.
 - C. PROVIDE OUTLETS AND FIRE STROBES AND ALARMS THROUGHOUT ADDITION AS REQUIRED BY APPLICABLE CODES.
 - D. ALL LIGHT FIXTURE FINISH SELECTIONS TO BE COORDINATED WITH OWNER AND ARCHITECT PRIOR TO FINAL ORDER.
 - E. COORDINATE FINAL SWITCHING LOCATIONS AND CONTROL TYPES WITH OWNER.
 - F. VERIFY FINAL SCONCE MOUNTING LOCATIONS WITH OWNER PRIOR TO ROUGH IN AND INSTALLATION.



REFERENCE COVER FOR SYMBOL LEGEND



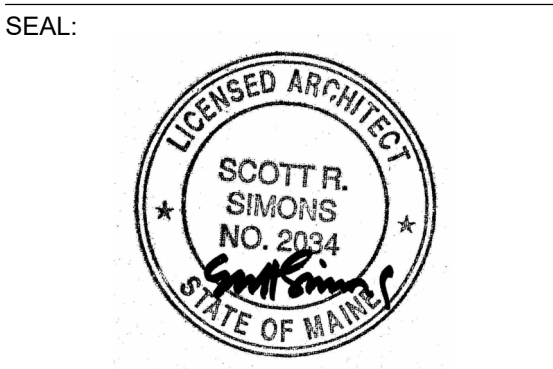
1 REFLECTED CEILING PLAN
1/4" = 1'-0"
GRAPHIC SCALE



75 York Street
Portland, Maine 04101
simonsarchitects.com
207.772.4656

PROJECT NAME:
**CAMP TIMANOUS
DINING HALL**

85 PLAINS RD.
RAYMOND, ME 04071



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ISSUANCES	
1	50% DESIGN DEVELOPMENT 10.13.23
2	BULLETIN 1 05.10.24

DATE OF ISSUE: 05/10/2024
PROJECT NUMBER: 2023-0050
STATUS: BULLETIN 1

**REFLECTED
CEILING PLAN**

A131

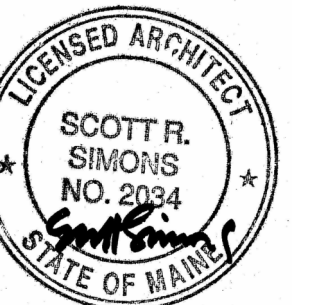


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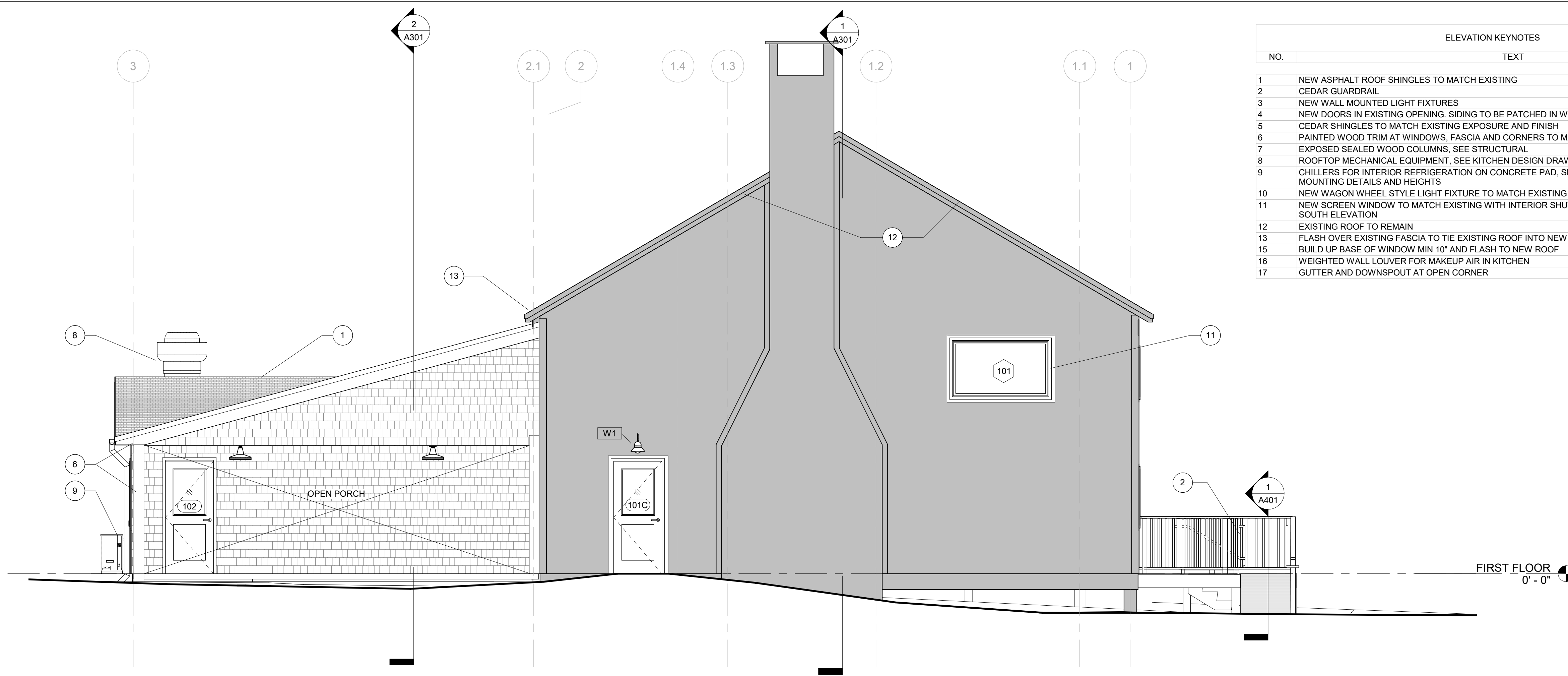
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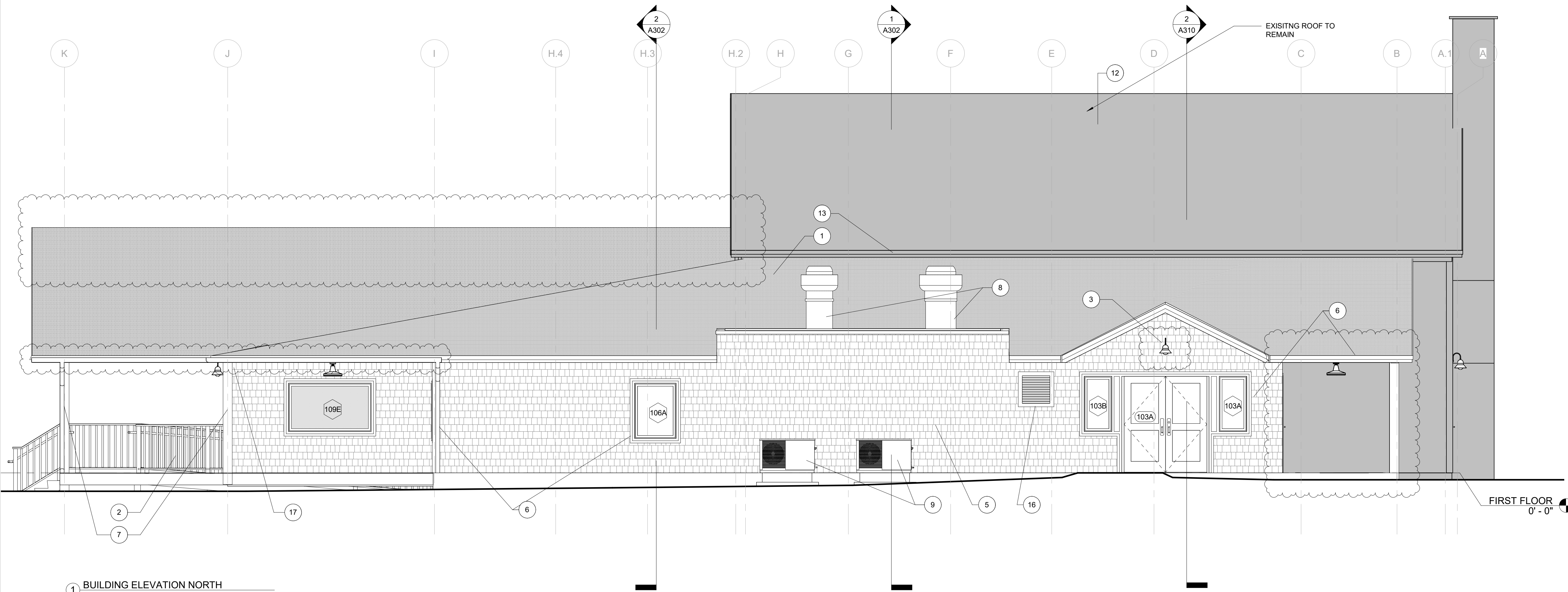
**EXTERIOR
ELEVATIONS
NORTH AND
WEST**

A201

ELEVATION KEYNOTES	
NO.	TEXT
1	NEW ASPHALT ROOF SHINGLES TO MATCH EXISTING
2	CEDAR GUARDRAIL
3	NEW WALL MOUNTED LIGHT FIXTURES
4	NEW DOORS IN EXISTING OPENING. SIDING TO BE PATCHED IN WHERE OPENING WIDTH WAS REDUCED
5	CEDAR SHINGLES TO MATCH EXISTING EXPOSURE AND FINISH
6	PAINTED WOOD TRIM AT WINDOWS, FASCIA AND CORNERS TO MATCH EXISTING COLOR AND PROFILES
7	EXPOSED SEALED WOOD COLUMNS. SEE STRUCTURAL
8	ROOFTOP MECHANICAL EQUIPMENT. SEE KITCHEN DESIGN DRAWINGS
9	CHILLERS FOR INTERIOR REFRIGERATION ON CONCRETE PAD. SEE KITCHEN DESIGN DRAWINGS FOR MOUNTING DETAILS AND HEIGHTS
10	NEW WAGON WHEEL STYLE LIGHT FIXTURE TO MATCH EXISTING ON INTERIOR
11	NEW SCREEN WINDOW TO MATCH EXISTING WITH INTERIOR SHUTTERS ALIGN WITH WINDOWS ON SOUTH ELEVATION
12	EXISTING ROOF TO REMAIN
13	FLASH OVER EXISTING FASCIA TO TIE EXISTING ROOF INTO NEW
15	BUILD UP BASE OF WINDOW MIN 10" AND FLASH TO NEW ROOF
16	WEIGHTED WALL LOUVER FOR MAKEUP AIR IN KITCHEN
17	GUTTER AND DOWNSPOUT AT OPEN CORNER



② BUILDING ELEVATION WEST
1/4" = 1'-0"



① BUILDING ELEVATION NORTH
1/4" = 1'-0"

SYMBOL LEGEND

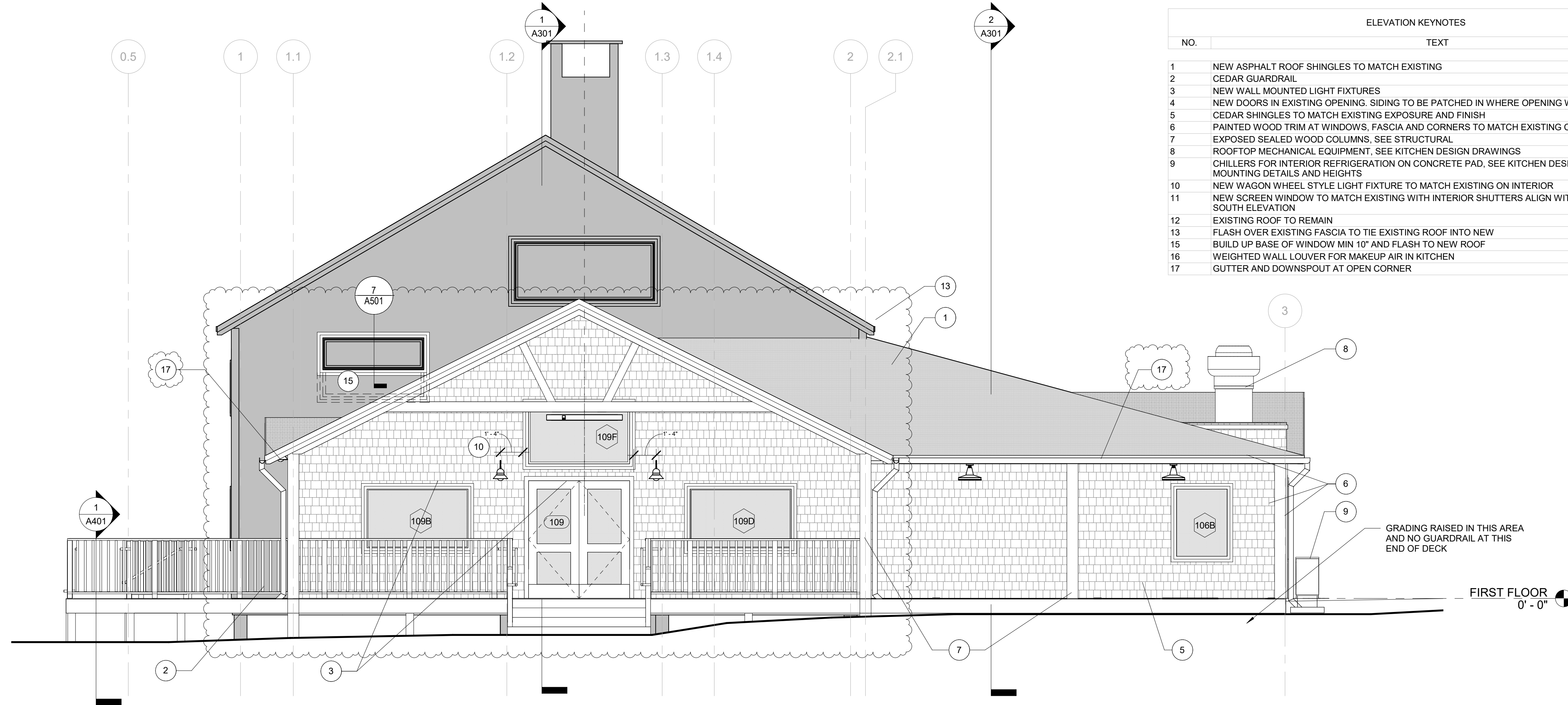
ROOM NUMBER	ROOM NAME
DOOR NUMBER	101A
WINDOW NUMBER	101A
PARTITION TYPE	A3
PLUMBING FIXTURE	PF-
EQUIPMENT/ ACCESSORY TAG	AC-
FLOOR FINISH	WD
WALL/BASE FINISH	XY AB
FINISH TAG	WD
KEYNOTE	1



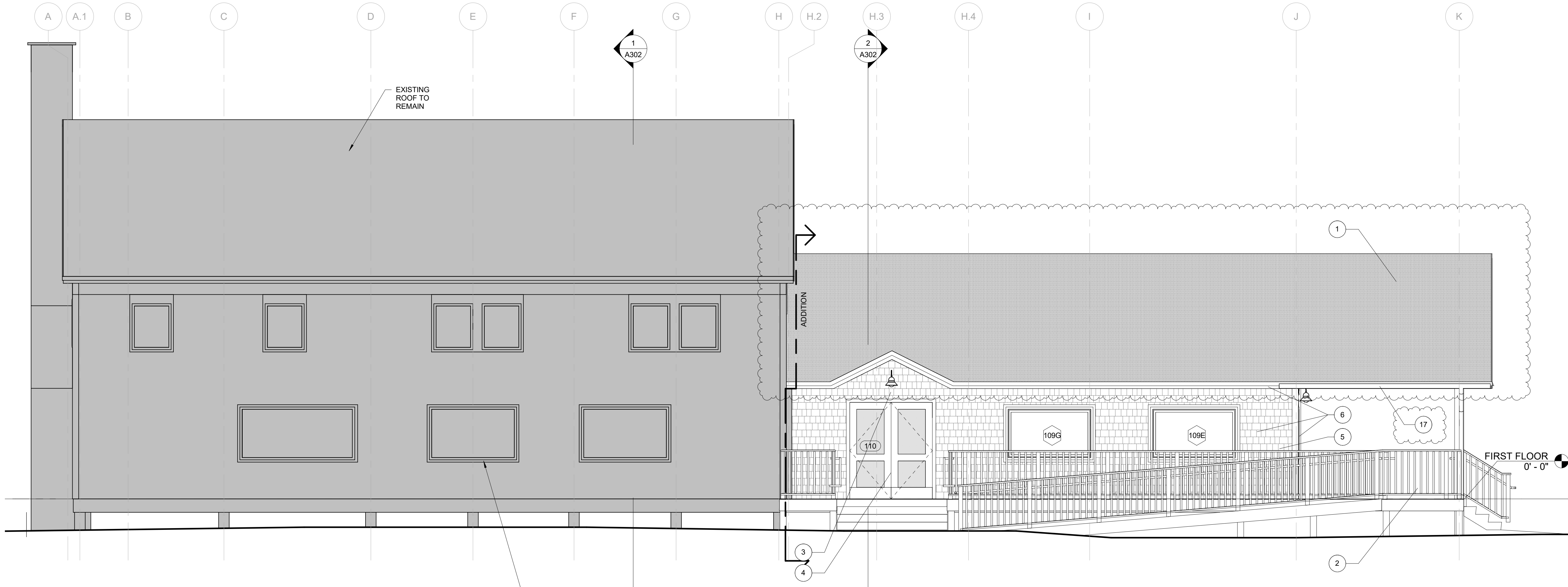


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2 BUILDING ELEVATION EAST
1/4" = 1'-0"



1 BUILDING ELEVATION SOUTH
1/4" = 1'-0"

- GENERAL NOTES**
- A. SEE STRUCTURAL DOCUMENTS FOR ADDITIONAL WORK.
 - B. GC SHALL BE RESPONSIBLE FOR ALL TEMPORARY SUPPORT, SHORING, AND BRACING AS REQUIRED.
 - C. WORK TO BE SEQUENCED, SCHEDULED, AND OTHERWISE COORDINATED WITH OWNER.
 - D. GC TO PROTECT ADJACENT AREAS NOT AFFECTED BY CONSTRUCTION.
 - E. GC TO FIELD VERIFY CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION. ALERT ARCHITECT IMMEDIATELY OF ANY AND ALL DISCREPANCIES.
 - F. AREAS OF BUILDING NOTE PART OF THIS SCOPE OF WORK ARE SHOWN HATCHED FOR GENERAL REFERENCE ONLY. SOME MEP WORK WILL REQUIRE INTERVENTION BEYOND LIMIT OF WORK AREAS.
 - G. REFER TO A600 FOR WINDOW AND DOOR SCHEDULES
 - H. EXISTING WINDOWS AND DOORS TO REMAIN EXCEPT WHERE SHOWN ON DEMO PLAN, TYP.

SYMBOL LEGEND

ROOM NUMBER	ROOM NAME
101	101
101A	101A
101A	101A
A3	A3
PF	PF
AC	AC
WD	WD
XY AB	XY AB
WD	WD
1	1

PROJECT NAME:
**CAMP TIMANOUS
DINING HALL**

85 PLAINS RD.
RAYMOND, ME 04071

SEAL:



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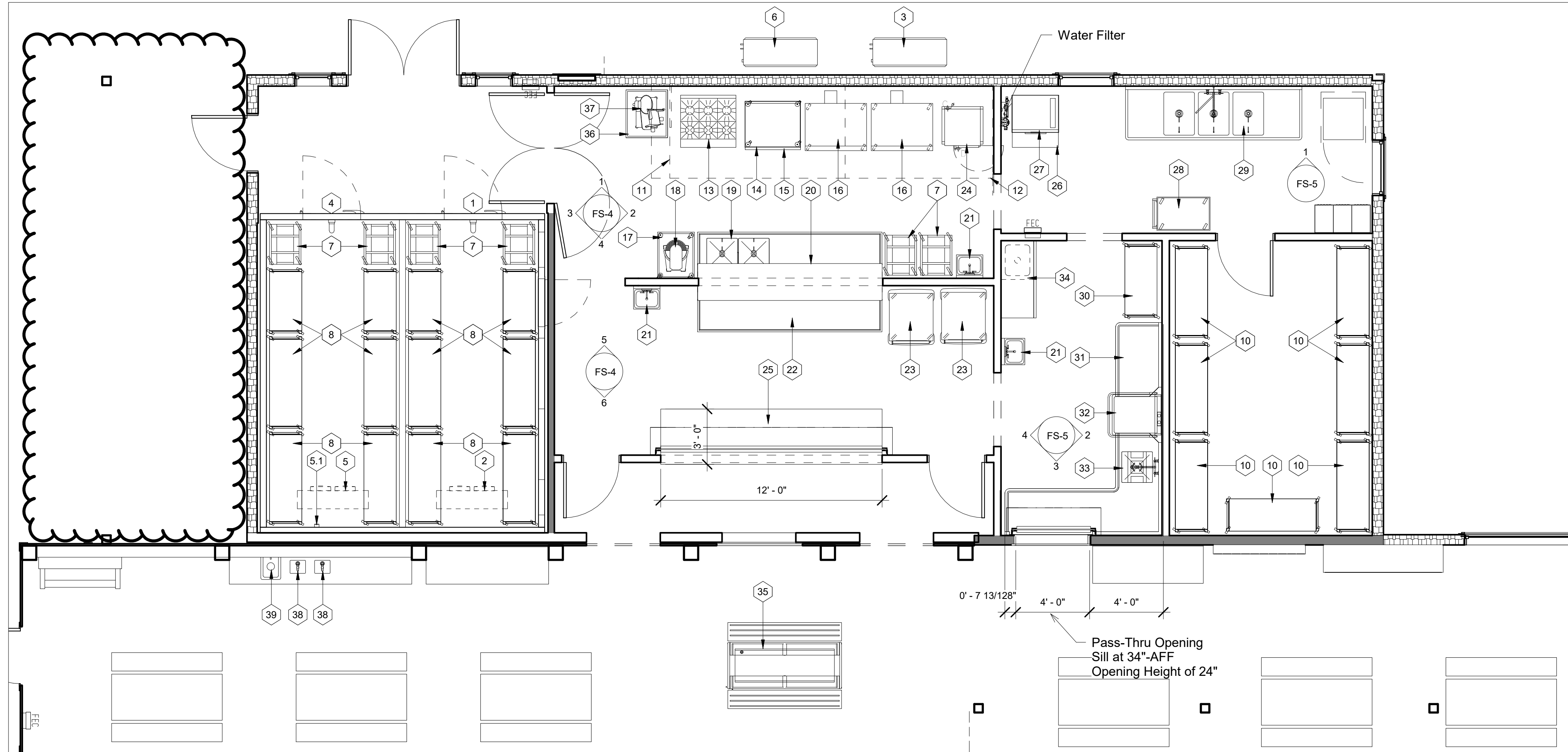
ISSUANCES	DATE
1 50% DESIGN DEVELOPMENT	10.13.23
2 BULLETIN 1	05.10.24

DATE OF ISSUE: 05/10/2024
PROJECT NUMBER: 2023-0050
STATUS: BULLETIN 1

**EXTERIOR
ELEVATIONS
SOUTH AND
EAST**

A202





1 Foodservice Equipment Plan
1/4" = 1'-0"

Foodservice Equipment Schedule

Item #	Qty.	Description
1	1	Walk-In Cooler
2	1	Evaporator Coil, Cooler
3	1	Compressor, Cooler
4	1	Walk-In Freezer
5	1	Evaporator Coil, Freezer
5.1	1	Drain Line Heat Tape
6	1	Compressor, Freezer
7	6	Sheet Pan Rack
8	12	Shelving Unit
10	7	Shelving Unit
11	1	Exhaust Hood (Left)
12	1	Exhaust Hood (Right)
13	1	Range, 6-Burner
14	1	Equipment Stand
15	1	Griddle
16	2	Convection Oven, Double
17	1	Mixer Stand w/ Utensil Rack
18	1	Mixer, 20-Quart
19	1	Worktable with Sinks
20	1	Pass-Thru Shelf
21	3	Hand Sink
22	1	Worktable
23	2	Heated/Holding Cabinet
24	1	Steamer
25	1	Serving Counter
26	1	Ice Bin
27	1	Ice Machine
28	1	Utility Cart
29	1	Sink, 3-Compartment
30	1	Shelving Unit
31	1	Dishable, Clean
32	1	Dishwasher, Door-Type, Tall, Ventless
33	1	Dishable, Soiled
34	1	Mop Sink Cabinet
35	1	Serving Counter, Salad Bar
36	1	Mobile Slicer Table
37	1	Slicer (Existing)
38	2	Pitcher Filler
39	1	Sink, Drop-In

Foodservice Equipment Mechanical Schedule

ITEM #	QTY	DESCRIPTION	Electrical			Plumbing				Gas		Ventilation				Notes			
			Volts	Phase	Watts	HP	FL Amps	Hot Water	Cold Water	Direct Waste	Indirect Waste	Size	BTU's	Exhaust CFM's	Diameter		Supply CFM's	Depth	Width
1	1	Walk-In Cooler	120 V	1															
2	1	Evaporator Coil, Cooler	115 V	1	120 W		2.3 A												
3	1	Compressor, Cooler	208 V	1		0.8	9.6 A												
4	1	Walk-In Freezer	120 V	1			15.0 A												
5	1	Evaporator Coil, Freezer	208 V	1	2010 W		11.7 A												
5.1	1	Drain Line Heat Tape	120 V	1	500 W		4.3 A												
6	1	Compressor, Freezer	208 V	1		3.5	25.3 A												
7	6	Sheet Pan Rack																	
8	12	Shelving Unit																	
10	7	Shelving Unit																	
11	1	Exhaust Hood (Left)	120 V	1			15.0 A							2375 CFM	1' - 4"				
12	1	Exhaust Hood (Right)											1465 CFM	1' - 0"					
13	1	Range, 6-Burner								3/4"	215000.0 Btu/h								
14	1	Equipment Stand																	
15	1	Griddle	120 V	1			1.0 A												
16	2	Convection Oven, Double	120 V	1		1/2	7.7 A												
17	1	Mixer Stand w/ Utensil Rack																	
18	1	Mixer, 20-Quart	115 V	1		1/2	6.0 A												
19	1	Worktable with Sinks						1/2"	1/2"	2"									
20	1	Pass-Thru Shelf																	
21	3	Hand Sink						1/2"	1/2"	1 1/2"									
22	1	Worktable																	
23	2	Heated/Holding Cabinet	120 V	1	2000 W		16.0 A												
24	1	Steamer	208 V	1	6000 W		29.0 A												
25	1	Serving Counter																	
26	1	Ice Bin																	
27	1	Ice Machine	208 V	1			11.0 A												
28	1	Utility Cart																	
29	1	Sink, 3-Compartment						1/2"	1/2"	2"									
30	1	Shelving Unit																	
31	1	Dishable, Clean																	
32	1	Dishwasher, Door-Type, Tall, Ventless	208 V	1		2	75.9 A							250 CFM					
33	1	Dishable, Soiled						1/2"	1/2"	2"									
34	1	Mop Sink Cabinet						1/2"	1/2"	2"									
35	1	Serving Counter, Salad Bar	115 V	1		1/4	3.7 A												
36	1	Mobile Slicer Table																	
37	1	Slicer (Existing)	115 V	1		1/2	4.0 A												
38	2	Pitcher Filler																	
39	1	Sink, Drop-In						1/2"	1/2"	1 1/2"									



Camp Timanous
85 Plains Road - Raymond, Maine

Project Name

Project #: 2023-0050

Drawn By: TJM

Date: 05/10/2024

Status: BULLETIN 1

Drawing Name

**FOODSERVICE
EQUIPMENT PLAN
& SCHEDULE**

Sheet Number

FS-1

Scale: 1/4" = 1'-0"